



City Council Agenda

Thursday, February 10, 2022

6:00 PM

35 Cabarrus Avenue, W, Concord NC 28025

Cell phones are to be turned off or placed on vibrate during the meeting. Please exit the Council Chambers before using your cell phone.

The agenda is prepared and distributed on Friday preceding the meeting to Council and news media. A work session is then held on the Tuesday preceding the regular meeting at 4:00 pm.

I. Call to Order

II. Pledge of Allegiance and Moment of Silent Prayer

III. Approval of Minutes

December 21, January 11 and January 13, 2022.

IV. Presentations

1. Presentation to former City Council Member and Water Sewer Authority of Cabarrus County (WSACC) Board Member, Dave Phillips.

2. Presentation of a Proclamation recognizing the month of February as Black History Month.

V. Unfinished Business

VI. New Business

A. Informational Items

B. Departmental Reports

C. Recognition of persons requesting to be heard

D. Public Hearings

1. Conduct a public hearing pursuant to NC General Statutes Sec. 158-7.1 and consider offering a contract for a ten year / 85% tax based Economic Development Incentive Grant to Eli Lilly and Company to locate at 1420 Concord Pkwy S, Concord, NC. Under the North Carolina General Statutes, City Council may offer incentives to stimulate private sector expansion of new facilities. Eli Lilly and Company is a pharmaceutical drug manufacturing company, which discovers, develops, manufactures, and markets products in the human pharmaceutical product segment. The proposed facility will consist of approximately 800,000 SF (over two floors) on a five-building campus. The new facility will manufacture injectable products and devices and increase the company's manufacturing capacity. Eli Lilly and Company's proposed investment represents a total \$920,000,000.00 investment in real and personal property. Eli Lilly and Company plans to create 589 full time jobs with an average wage of \$70,555.00. The total value of the City's ten year grant is estimated to equal \$24,464,894.00 dependent on the actual investment. The City of Concord would still collect a 10-year net revenue of \$4,317,334.00 after the incentive payments. See attached grant analysis for additional details.

Recommendation: Conduct a public hearing; and Consider offering a contract for a ten year / 85% tax based Economic Development Incentive Grant to Eli Lilly and Company to locate at 1420 Concord Pkwy S, Concord, NC.

2. Conduct a public hearing and consider adopting an ordinance amending the official zoning map for +/- 1.27 acres of property located at 848 Old Charlotte Rd. from C-2 (General Commercial) to RC-CD (Residential Compact Conditional District) and amending the 2030 Land Use Plan from Suburban Neighborhood to Urban Neighborhood. The subject property consists of one (1) parcel totaling +/- 1.27 acres located at 848 Old Charlotte Rd. with street frontage on both Old Charlotte Rd and Dulan Dr. The petitioner has proposed the rezoning in order to construct a 13

unit townhome development with two buildings, a centralized parking lot, and passive common open space on the site. As part of the conditional district rezoning request, a draft site plan and elevations have been submitted and reviewed by applicable City departments. Approval of the rezoning request would necessitate a Land Use Plan amendment.

Recommendation: Consider adopting an ordinance amending the official zoning map for +/- 1.27 acres of property located at 848 Old Charlotte Rd. from C-2 (General Commercial) to RC-CD (Residential Compact Conditional District) and amending the 2030 Land Use Plan from Suburban Neighborhood to Urban Neighborhood.

3. **Conduct a public hearing and consider adopting an ordinance annexing +/- 2.387 acres of property located at 10515 and portion of 10435 Poplar Tent Rd, owned by Skybrook, LLC.** The request is for voluntary annexation of +/- 2.387 acres of property located at 10515 and portion of 10435 Poplar Tent Rd, owned by Skybrook, LLC. If annexed, the petitioner intends to apply for the RV-CD (Residential Village Conditional District) zoning classification in order to expand the planned Skybrook Corners townhome neighborhood to the north.

Recommendation: Conduct a public hearing and consider a motion adopting the annexation ordinance and set the effective date for February 10, 2022.

4. **Conduct a public hearing and consider adopting a resolution amending the City Council Districts to better balance population distribution between districts.** Periodically, the City Council Districts are amended due to annexations and areas of population growth. The last amendment to the Council Districts occurred in December 2018. Staff has worked with the City Manager to modify the boundary lines based on current population from the last Census, as well as expected population growth due to known or pending development. The proposed boundary lines follow easily identifiable boundary lines as much as possible. The attached maps show the current districts and the new proposed district boundaries.

Recommendation: Consider adopting a resolution amending the City Council Districts to better balance population distribution between districts.

E. Presentations of Petitions and Requests

1. **Consider approving the new benefit plan rates for the City of Concord for FY23 and authorize the City Manager to negotiate, conclude, and execute contracts with plan providers.** The City introduced a third medical plan option for coworkers on 7/1/2021 with lower contributions for Coworkers and their covered dependents. 15% of coworkers on the medical plan enrolled in the Blue HPN Plan, with 67% covering at least one dependent. Although this plan is performing at 27.6% below FY22 budget, the FY22 medical plan is running 3.6% higher than FY21, and FY21 ended 3% higher than FY20. For FY23, staff is projecting a 5.8% increase to the medical budget with no changes at all. The recommendation for FY23 is to leave coworker contributions the same, resulting in a 6.6% net increase to the City before savings initiatives.

Recommendation: Motion to approve the new plan design for the City of Concord benefit plans for FY23 and authorize the City manager to negotiate, conclude, and execute contracts with plan providers.

2. **Consider authorizing the City Manager to negotiate and execute a contract with Tindale Oliver and HDR, Inc for On Call Transit Planning Services.** Rider Transit and Cabarrus County Transportation Service have worked on a joint effort to secure On Call Transit Planning Services for the next 5 years. An RFQ was issued on 10/15/21. Four proposals were submitted and reviewed by a panel of Rider Transit, CCTS, CATS and CRMPO staff. Three firms were selected for interviews on 1/6/22. Two bidders were selected for recommendation of award based on their qualifications, experience, and project teams – Tindale Oliver and HDR, Inc. Each firm has particular strengths that staff felt would be best for both currently funded and potential upcoming

transit planning projects. No planning projects will start until grant funding is secured, a task order is issued to one of the firms, a scope of work developed and agreed upon, and cost for the task is determined. At that point, staff will then request approval to move forward with that particular project/task. This recommendation was approved unanimously by the Concord Kannapolis Transit Commission at their 2/1/22 meeting.

Recommendation: Motion to authorize the City Manager to negotiate and execute a contract for On Call Transit Planning Services with Tindale Oliver and HDR, Inc.

- 3. Consider authorizing the City Manager to sign a contract with AngelTrax, IVS, Inc. for the purchase of mobile security system to replace & upgrade the existing mobile security camera systems on all 18 Rider Transit revenue service vehicles.** Each of Rider Transit's 18 revenue service vehicles have an onboard mobile security camera system, which is 9 years old. Currently, Rider's mobile security camera system is provided by AngelTrax. They are listed on the federal GSA contract, and under the declared COVID-19 national emergency declaration, Rider Transit is allowed to purchased directly off the GSA schedule. Given the excellent working relationship with AngelTrax, particularly in the area of post installation customer service, staff is recommending AngelTrax to upgrade our mobile security camera system. Total initial cost for this project will be \$137,293.75, which includes hardware, installation, and the first five years of software fees. There will be \$242 Mototrax software fee per vehicle annually after the first five years. Funding for this project will utilize existing federal 5339 funds, which will be covered with 80% federal funding, 20% local contribution.

Recommendation: Motion to authorize the City Manager to sign a contract with AngelTrax, IVS, Inc. for the purchase and installation of new mobile security camera systems on each Rider Transit revenue service vehicle.

- 4. Consider authorizing the City Manager to negotiate and execute a contract with Ratzlaff Construction for the construction of the combination shelter-restroom building, and paved parking lot at 106 Wilson Street SE.** Ratzlaff Construction, was the lowest bidder with a base bid of \$830,016. The project budget is \$662,000 (420-8300-5811018). The amount of \$72,503 has been identified as value engineering for a sub-total of \$757,513 The project is \$133,389 over the original budget. Parks & Recreation has cost savings in the following account 420-8300-5811068, and would like to use \$133,389 of the cost savings to fund the project. The project will provide a combination shelter and restroom building as identified in the adopted master plan for Wilson Street Park. This will be the only building planned for the park site, and immediately activates the property for programming capabilities. It would also provide a much needed restroom for the extension of McEachern Greenway, whereas the closest restroom is currently over 1 mile away at McGee Park. This facility is also about half way between McGee Park and Beverly Hills Park, where an extension of McEachern Greenway is planned to Miramar connecting to the park via sidewalk. The proposed shelter was added to the building in lieu of providing a separate shelter shown in an earlier concept of the master plan, and can be used as an outdoor classroom for greenway programs, or as a reservable facility. Currently, the existing parking lot is unpaved and has with no handicap parking. The revised parking lot will be paved, will include a realigned driveway entrance, and a better turning radius. In addition, it provides an additional 15 parking spaces with marked, handicap parking, and a bus lane to support educational program opportunities for the City, future park and other entities. The new building also features a unique design in keeping with the original vision for Wilson Street Park, designed with curved siding features, stone base and inlay veneer, and wood beams for a more natural look.

Recommendation: Motion to authorize the City Manager to negotiate and execute a contract with Ratzlaff Construction for the construction of the shelter-restroom building and parking lot and to adopt a budget amendment to appropriate the funds.

- 5. Consider authorizing the City Manager to negotiate and execute a contract with Herrin Industrial, Inc. for the construction of the Hwy 73 Water Interconnection to Charlotte Water.** The proposed Hwy 73 Water Interconnection to the Charlotte Water system will be located at the Mecklenburg- Cabarrus County line on HWY 73 and will provide the ability to receive water from Charlotte if needed. The project was bid under the formal bidding process, bids were taken on January 25, 2022, four (4) bids were received and the lowest responsible bidder was Herrin Industrial, Inc., in the amount of \$518,800.67. The bid amount is within the budgeted amount.

Recommendation: Motion authorizing the City Manager to negotiate and execute a contract with Herrin Industrial, Inc. in the amount of \$518,800.67 for the construction of the proposed Hwy 73 Water Interconnection to Charlotte Water.

- 6. Consider removing Kevin Killough from the Planning and Zoning Commission.** The removal of Mr. Killough from the Planning and Zoning Commission is due to non-attendance at the meetings. Staff is requesting Mr. Killough be removed and Commission Member Phil Jones be reassigned to regular member status.

Recommendation: Motion to remove Kevin Killough from the Planning and Zoning Commission and reassign Commission Member Phil Jones to regular member status.

7. GO Bond referendum discussion (Work Session)

8. Sewer Allocation Process Discussion (Work Session)

9. 2020-2023 Strategic Plan discussion (Work Session)

VII. Consent Agenda

- A. Consider adopting a resolution updating the current approved depositories for the City of Concord.** The attached resolution and the attached list of pooling banks for N.C., is submitted for City Council approval. Although the City has a contract with Wells Fargo, the central depository for the City, the City also has relationships with many other financial institutions in regards to investment activities and debt relationships. A list of pooling banks is attached for your review. This list represents banks that the Treasurer's office currently works with to receive deposits for State agencies. These banks agree to comply with State guidelines to operate as a depository of State funds. Staff is requesting that these financial institutions be approved.

Recommendation: Motion to adopt a resolution to designate allowed depositories for the City.

- B. Consider accepting the 2022 Family Self Sufficiency (FSS) Grant Award from the US Department of Housing and Urban Development (HUD) and adopt a budget ordinance in the amount of \$56,640.** HUD has awarded the Housing Department the Family Self Sufficiency (FSS) Grant for federal year 2022 in the amount of \$56,640 to pay the salary and benefits of the program coordinator, whose primary responsibility is to guide and connect participants to needed training and resources. Participants in the program gain access to the support they need in order to achieve their self-sufficiency goals and move up the economic ladder.

Recommendation: Motion to accept the 2022 Family Self Sufficiency (FSS) Grant Award from the US Department of Housing and Urban Development (HUD) and adopt a budget ordinance in the amount of \$56,640.

- C. Consider accepting a Parks and Recreation Trust Fund (PARTF) grant award for Marvin Caldwell Park Renovations, and authorization for the City Manager to execute and for the Mayor to sign a grant agreement with the North Carolina Department of Natural and Cultural Resources in the amount of \$400,000.** Acceptance of the Parks and Recreation Trust Fund (PARTF) award in the amount of \$400,000 will help fund improvements to Marvin Caldwell Park that have been identified by the master plan, including: 1) A new splash pad, 2) A new shelter, and 3) A segment of the first phase of Irish Buffalo Creek Greenway. The grant also covers portions of site preparation, grading and demolition. These improvements to the park

will transform Caldwell Park into a more accessible, inclusive, visible, and well-connected neighborhood park. The City has allocated the budget for the required match, and is committed to finishing these improvements within the next three (3) years with execution of the grant agreement. Approximately six (6) acres of the existing park would be disturbed for these improvements, and would also include items associated with the Land and Water Conservation Grant (LWCF), which includes a new playground, covered basketball courts, a new youth baseball diamond, and a multi-use field, as well as other items such as lights, dugouts, bleachers, one additional small shelter, a new restroom building, new fencing, hardscapes and sidewalks, and expansion/reconfiguration of parking and driveways. The attached project amendment appropriates these grant funds.

Recommendation: Motion to accept the PARTF award, and authorize the City Manager to execute and the Mayor to sign a grant agreement with National Park Service through the North Carolina Department of Natural and Cultural Resources, and to approve the attached project amendment to appropriate the funds.

- D. Consider authorizing the Concord Police Department to apply for an Internet Crimes Against Children Investigations grant, administered by the North Carolina Sheriff's Association, pursuant to Senate Bill 105.** The Concord Police Department is requesting to apply for an Internet Crimes Against Children Investigations grant, administered by the North Carolina Sheriff's Association, pursuant to Senate Bill 105. The grant money will be used to increase investigative capacity by the department's Child Sex Crimes and Human Trafficking Task Force. The grant award may not exceed \$75,000, and there is no local match required. The grant will require a partnership with the North Carolina State Bureau of Investigation. The grant is anticipated to be announced in late February.

Recommendation: Motion to authorize the Concord Police Department to apply for an Internet Crimes Against Children Investigations grant, administered by the North Carolina Sheriff's Association, pursuant to Senate Bill 105.

- E. Consider accepting an offer of infrastructure at Heritage at Moss Creek Subdivision.** In accordance with CDO Article 5, improvements have been constructed in accordance with the City's regulations and specifications. The following are being offered for acceptance: 409 LF of 8-inch water line, 785 LF of 6-inch water line, 335 LF of 2-inch water line, 4 valves and 4 Fire Hydrants. 1,218 LF of sanitary sewer line and 9 manholes.

Recommendation: Motion to accept the offer of infrastructure acceptance in the following subdivisions and sites, Heritage at Moss Creek Subdivision.

- F. Consider accepting an Offer of Dedication of an access easement and approval of the maintenance agreement.** In accordance with the CDO Article 4, the following access easements and maintenance agreements are now ready for approval: Megawash Concord, LLC, Jack's Heavy Concord, LLC, and Concord Housing, LLC (PINs 5509-21-7392) 4165 Concord Parkway South, Park View Owners Association (PIN 5528-46-9020) 5025 and 5175 Rocky River Road, and HSREI, LLC (PIN 4599-10-9019) 7609 Hendrick Auto Plaza NW. Access easements and SCM maintenance agreements are being offered by the owners.

Recommendation: Motion to approve the maintenance agreements and accept the offers of dedication on the following properties: Megawash Concord, LLC, Jack's Heavy Concord, LLC, and Concord Housing, LLC, Park View Owners Association, and HSREI, LLC.

- G. Consider adopting an ordinance to amend the FY 2021/2022 Budget Ordinance for the General Fund to appropriate insurance reimbursements received.** The City of Concord received insurance reimbursements to cover repairs and replacement of damaged vehicles. The attached budget ordinance will appropriate these funds to the respective impacted departments.

Recommendation: Motion to adopt an ordinance to amend the FY 2021/2022 Budget Ordinance for the General Fund to appropriate insurance reimbursements received.

- H. Consider adopting a Stormwater Projects fund project ordinance to move funding to the Country Club project.** Staff is recommending reallocating funding previously approved for the Dylan Place Culvert to the Country Club project as it is a more immediate need.

Recommendation: Motion to adopt a Stormwater Projects fund project ordinance to move funding to the Country Club project.

- I. Consider adopting a Wastewater Projects fund project ordinance to combine amounts for the GL Pump Station eliminations project.** Staff is requesting to combine four project accounts into one as they are all related to the GL Pump Station eliminations project and will be done at one time as one project.

Recommendation: Motion to adopt a Wastewater Projects fund project ordinance to combine amounts for the GL Pump Station eliminations project.

- J. Receive quarterly report on water and wastewater extension permits issued by the Engineering Department in the fourth quarter of 2021.** In accordance with City Code Chapter 62, attached is a report outlining the water and wastewater extension permits that were issued between October 1, 2021 and December 31, 2021.

Recommendation: Motion to receive the fourth quarter water and wastewater extension report for 2021.

- K. Consider approving a change to the classification/compensation system to include the following classification: Fleet Services Training Coordinator.** The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Fleet Services Training Coordinator (Grade 211) with a salary range of \$54,473.53 (minimum) - \$72,177.41 (midpoint) - \$89,881.29 (maximum).

- L. Consider approving a change to the classification/compensation system to include the following classification: Customer Service Specialist II.** The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Customer Service Specialist II (Grade 207) with a salary range of \$38,590.40 (minimum) - \$51,132.31 (midpoint) - \$63,674.19 (maximum).

- M. Receive monthly report on status of investments as of December 31, 2021.** A resolution adopted by the governing body on 12/9/1991 directs the Finance Director to report on the status of investments each month.

Recommendation: Motion to accept the monthly report on investments.

- N. Consider acceptance of the Tax Office reports for the month of December 2021.** The Tax Collector is responsible for periodic reporting of revenue collections for the Tax Collection Office.

Recommendation: Motion to accept the Tax Office collection reports for the month of December 2021.

- O. Consider approval of Tax Releases/Refunds from the Tax Collection Office for the month of December 2021.** G.S. 105-381 allows for the refund and/or release of tax liability due to various reasons by the governing body. A listing of various refund/release requests is presented for your approval, primarily due to overpayments, situs errors and/or valuation changes.

Recommendation: Motion to approve the Tax releases/refunds for the month of December 2021.

VIII. Matters not on the agenda

- **Transportation Advisory Committee (TAC)**
- **Metropolitan Transit Commission (MTC)**

- **Centralina Regional Council**
- **Concord/Kannapolis Transit Commission**
- **Water Sewer Authority of Cabarrus County (WSACC)**
- **Public Art Advisory Committee**
- **Concord Family Enrichment Association**
- **Barber Scotia Community Task Force Committee**
- **Concord United Committee**

IX. General comments by Council of non-business nature

X. Closed Session (if needed)

XI. Adjournment

*IN ACCORDANCE WITH ADA REGULATIONS, PLEASE NOTE THAT ANYONE WHO NEEDS AN ACCOMMODATION TO PARTICIPATE IN THE MEETING SHOULD NOTIFY THE CITY CLERK AT (704) 920-5205 AT LEAST FORTY-EIGHT HOURS PRIOR TO THE MEETING.

Project Cardinal



Cabarrus County Economic Development Grant Analysis

		2022	2023	2024	2025	2026	2027	2028	2029	2030	2031
Total Assessed Value (Real)		\$70,000,000	\$280,000,000	\$395,000,000	\$445,000,000	\$470,000,000	\$480,000,000	\$480,000,000	\$480,000,000	\$480,000,000	\$480,000,000
Total Assessed Value (Personal)		\$13,500,000	\$66,300,000	\$167,250,000	\$246,380,000	\$300,390,000	\$311,420,000	\$270,240,000	\$226,965,000	\$184,685,000	\$149,167,500
	2022	\$15,000,000	\$13,500,000	\$12,300,000	\$10,950,000	\$9,600,000	\$8,100,000	\$6,600,000	\$4,950,000	\$3,375,000	\$3,075,000
	2023	\$60,000,000	\$54,000,000	\$49,200,000	\$43,800,000	\$38,400,000	\$32,400,000	\$26,400,000	\$19,800,000	\$15,000,000	\$15,000,000
	2024	\$119,000,000		\$107,100,000	\$97,580,000	\$86,870,000	\$76,160,000	\$64,260,000	\$52,360,000	\$39,270,000	\$29,750,000
	2025	\$106,000,000			\$95,400,000	\$86,920,000	\$77,380,000	\$67,840,000	\$57,240,000	\$46,640,000	\$34,980,000
	2026	\$89,000,000				\$80,100,000	\$72,980,000	\$64,970,000	\$56,960,000	\$48,060,000	\$39,160,000
	2027	\$51,000,000					\$45,900,000	\$41,820,000	\$37,230,000	\$32,640,000	\$27,540,000
County taxes at .74		\$617,900	\$2,562,620	\$4,160,650	\$5,116,212	\$5,700,886	\$5,856,508	\$5,551,776	\$5,231,541	\$4,918,669	\$4,655,840
Grant @ 85 %		\$525,215	\$2,178,227	\$3,536,553	\$4,348,780	\$4,845,753	\$4,978,032	\$4,719,010	\$4,446,810	\$4,180,869	\$3,957,464
Net Taxes to County		\$92,685	\$384,393	\$624,098	\$767,432	\$855,133	\$878,476	\$832,766	\$784,731	\$737,800	\$698,376
	Taxes										\$ 44,372,602
	Grant										\$ 37,716,711
	Net Taxes to County										\$ 6,655,890

City of Concord Economic Development Grant Analysis

		2022	2023	2024	2025	2026	2027	2028	2029	2030	2031
Total Assessed Value (Real)		\$70,000,000	\$280,000,000	\$395,000,000	\$445,000,000	\$470,000,000	\$480,000,000	\$480,000,000	\$480,000,000	\$480,000,000	\$480,000,000
Total Assessed Value (Personal)		\$13,500,000	\$66,300,000	\$167,250,000	\$246,380,000	\$300,390,000	\$311,420,000	\$270,240,000	\$226,965,000	\$184,685,000	\$149,167,500
	2022	\$15,000,000	\$13,500,000	\$12,300,000	\$10,950,000	\$9,600,000	\$8,100,000	\$6,600,000	\$4,950,000	\$3,375,000	\$3,075,000
	2023	\$60,000,000	\$54,000,000	\$49,200,000	\$43,800,000	\$38,400,000	\$32,400,000	\$26,400,000	\$19,800,000	\$15,000,000	\$15,000,000
	2024	\$119,000,000		\$107,100,000	\$97,580,000	\$86,870,000	\$76,160,000	\$64,260,000	\$52,360,000	\$39,270,000	\$29,750,000
	2025	\$106,000,000			\$95,400,000	\$86,920,000	\$77,380,000	\$67,840,000	\$57,240,000	\$46,640,000	\$34,980,000
	2026	\$89,000,000				\$80,100,000	\$72,980,000	\$64,970,000	\$56,960,000	\$48,060,000	\$39,160,000
	2027	\$51,000,000					\$45,900,000	\$41,820,000	\$37,230,000	\$32,640,000	\$27,540,000
County taxes at .48		\$400,800	\$1,662,240	\$2,698,800	\$3,318,624	\$3,697,872	\$3,798,816	\$3,601,152	\$3,393,432	\$3,190,488	\$3,020,004
Grant @ 85 %		\$340,680	\$1,412,904	\$2,293,980	\$2,820,830	\$3,143,191	\$3,228,994	\$3,060,979	\$2,884,417	\$2,711,915	\$2,567,003
Net Taxes to City		\$60,120	\$249,336	\$404,820	\$497,794	\$554,681	\$569,822	\$540,173	\$509,015	\$478,573	\$453,001
	Taxes										\$ 28,782,228
	Grant										\$ 24,464,894
	Net Taxes to City										\$ 4,317,334
	GRANT TOTAL:										\$ 62,181,605



PROJECT CARDINAL

Company's Legal Name: Eli Lilly and Company

State of Incorporation: Indiana

Project Summary: Eli Lilly and Company is a pharmaceutical drug manufacturing company which discovers, develops, manufactures, and markets products in the human pharmaceutical product segment.

The brand-new facility will utilize the latest technology to manufacture parenteral (or injectable) products and devices and increase the company's manufacturing capacity.

Proposed New or Additional Cabarrus Facility:

Address/Location: The Grounds at Concord, 1420 Concord Pkwy S (Hwy 29), Concord, NC 28027. (415-acre parcel north of Hwy 29)

Square Feet: will consist of over 800,000 SF (over two floors) on a five-building campus

Investment:

Cabarrus County and City of Concord grant calculations based on estimated taxable investment of \$920,000,000:

Real Property: \$480,000,000

Personal Property: \$440,000,000

New Job Creation Full Time: 589

Average Wages: \$70,555

Meeting Date

February 10th, 2022

Staff Report

BACKGROUND:

Below is a summary of the proposed rezoning petition and site plan. The full detailed staff report detailing adjacent development and zoning patterns, as well as and associated documents/plans submitted to the Planning and Zoning Commission are also provided for Council's review.

The subject property consists of one (1) parcel totaling +/- 1.27 acres located at 848 Old Charlotte Rd. with street frontage on both Old Charlotte Rd and Dulin Dr. The petitioner has proposed the rezoning in order to construct a 13-unit townhome development with two buildings, a centralized parking lot, and passive common open space on the site. As part of the conditional district rezoning request, a draft site plan and elevations have been submitted and reviewed by applicable City departments.

According to the site plan, submitted as a condition of rezoning, the proposal would be limited to thirteen (13) new townhome units (approximately 1,600 SF each), divided between two (2) structures. The proposed residential buildings face inward toward the parking lot with the rear facades facing the residential property to the west and Old Charlotte Rd. Parking for the townhomes would come in the form of a shared parking lot centered between the buildings and accessed from Dulin Dr. SW. The proposed parking meets minimum requirements for the development. The overall density of the project would be 10.2 du/a. The maximum density of RC zoning is 15 du/a.

In accordance with the CDO, setbacks from the front property line to the parking lot are 20'. The applicant has proposed a concrete walkway to connect each townhome entrance to the public sidewalk in front of each unit and the sidewalk would connect into the parking lot. The sidewalk would be back of curb. The property is setback 20ft from the adjacent single-family detached structure to the west. Street side setbacks include 20ft from the future right of way for Old Charlotte Rd and 20feet off of the Dulin right-of-way. Units are depicting space for private patio areas within those 20ft setbacks.

Required open space for the RC zoning district is a minimum of 20% or 0.244 acres if the density is greater than four units per acre. Under the current conditional district proposal, the applicant has provided 21.1 % or 0.2569 acres in the form of passive greenspace along the south side of the property, behind parking lot. The applicant is proposing a playground/exercise area which is depicted on the site plan.

In addition to the open space, the site plan provides for a 20' Type C buffer along the southern property line. The abutting properties to the south are zoned commercial. The property directly to the west is zoned RC and is developed as single-family attached. According to the CDO, the proposed use is required to install an 8' wide Type A Buffer to meet minimum standards. As shown on the site plan, minimum buffer standards have been provided along both abutting property lines. However, during the Planning and Zoning Commission Hearing, the petitioner agreed to install a 15ft wide enhanced Type B buffer along the western property line. This condition has been added to those recommended by the Planning and Zoning Commission.

The CDO also requires that elevation renderings be submitted for multi-family developments. The applicant has submitted two renderings of the proposed structures, detailing materials. As can be seen on the images, the multi-family structures are 2 stories tall. While the materials meet the standards in the Concord Development Ordinance it should be noted that one of the renderings doesn't align with the site plan. The view from the front of the elevation will face a parking lot.

The 2030 Land Use Plan designates the subject property as Suburban Neighborhood. RC (Residential Compact) and conditional district variations are not corresponding zoning districts to the "Suburban Neighborhood" land use category, and therefore the request is not consistent with the Land Use Plan.

Approval of the rezoning would require a Land Use Plan amendment. For consistency with the proposed zoning of RC-CD, and the proposed density of 10.2 du/a, if approval is desired, Planning Staff recommends the Urban Neighborhood Land Use Category. Urban Neighborhood would allow RC zoning and up to 15du/a. The Urban Neighborhood density could only be accomplished through a special purpose district such as a PUD. Property designated as Urban Neighborhood is located to the north, west and east. Property to the south is designated as Suburban Neighborhood, consistent with the subject property.

The Planning and Zoning Commission heard the above referenced case at their January 18th, 2022 public hearing and unanimously acted to forward the petition to City Council with a recommendation of approval with conditions. Additionally, the Planning and Zoning Commission voted to recommend that City Council modify the 2030 Land Use Plan to correspond with the proposed zoning classification in accordance with Staff's recommended land use category of "Urban Neighborhood".

The Planning and Zoning Commission unanimously approved the following Statement of Consistency:

- The subject property is approximately 1.27 Acres +/- and is zoned C-2 (General Commercial).
- The subject property was incorporated into the City Limits June 30, 1986 and consists of one (1) parcel of record (5529-48-0610) with nonresidential structures and associated parking.
- The proposed zoning amendment is inconsistent to the 2030 Land Use Plan (LUP) as RC (Residential Compact) is not considered a corresponding zoning district to the Suburban Neighborhood land use category. However, the conditional rezoning would permit the development of a 13-unit infill multi-family residential development which would provide a new housing type that does not exist within the area. The proposal would further the LUP Guidance 1.6 encouraging compatible infill development and housing varieties. Urban Neighborhood also surrounds the subject property on three sides.
- The zoning amendment is reasonable and in the public interest because would provide for a type of residential infill development not found within the near vicinity, providing a unique housing type to meet a variety of housing needs. The proposal also meets all minimum CDO standards and ensures compatibility between neighboring land uses through transitions in land use intensity and buffers. Although the proposal is for a multi-family use, the proposal could be viewed as a transition between the commercial intersection of Old Charlotte Rd and Union Cemetery Rd, and the two-story, single-family detached, development to the north and west.

The Planning and Zoning Commission unanimously recommended the following conditions if approval is desired:

1. Compliance with the "Sky Summer Landing Rental Townhomes Rezoning Site Plan" Sheet 1 of 3 dated 12-13-21 and last revised 12-13-21 and the elevation rendering sheets titled A-200, A-201, and A-203, submitted at the 1/18/22 rezoning hearing.
2. No more than 13 dwelling units shall be permitted on the site.
3. Per the submitted site plan, during the Preliminary Plat review, detailed renderings of the proposed playground or workout area shall be submitted.
4. Compliance with all minimum requirements of the CDO and all other applicable adopted use and site design regulations.
5. Technical site plan review and approval shall be required.
6. A 15' wide type B1 buffer will be added along the west perimeter between the subject property and 19 Dulin.



DATE: January 18, 2022

DESCRIPTION: Zoning Map Amendment from City of Concord C-2 (General Commercial) to RC-CD (Residential Compact Conditional District)

CASE NUMBER: Z (CD)-28-21

APPLICANTS Dr. Aimy Steele, Reach Consulting

LOCATION: 848 Old Charlotte Road

PARCEL PIN: PIN 5529-48-0610

AREA: +/- 1.27 acres

ZONING: Concord C-2 (General Commercial)

REPORT PREPARED BY: Monterai Adams, Senior Planner

BACKGROUND

The subject property is located on the southwestern side of the intersection of Dulin Dr. SW. and Old Charlotte Rd. SW. and is +/- 1.27 acres. The parcel contains a church and daycare center. All existing structures would be demolished in order to develop the site with thirteen (13) multi-family townhomes, a parking lot, and passive common open space.

HISTORY

Annexation documentation shows that the subject property was annexed into the City June 30, 1986.

On September 16, 2021 an application was filed to rezone the parcel from City of Concord C-2 (General Commercial) to RC-CD (Residential Compact Conditional District) in order to construct (13) townhomes, a parking lot, and passive common open space.

Note: The proposed request is inconsistent with the 2030 LUP (Land Use Plan). Therefore the Planning and Zoning Commission will be reviewing the proposal, adopting a Statement of Consistency, and forwarding the request to City Council with a recommendation of approval or denial. If approval is recommended, the Planning and Zoning Commission must also recommend a corresponding Land Use Category. If approval is recommended, Staff suggest the Urban Neighborhood Land Use Category for consistency with the proposed zoning designation and density.

SUMMARY OF REQUEST

The applicant has requested to rezone the subject property from City of Concord C-2 (General Commercial) to RC-CD (Residential Compact Conditional District) in order to construct (13) townhomes within two buildings, a centralized parking lot, and passive common open space. Under the current C-2 zoning classification, multi-family would only be permitted with a 1) Special Use Permit on a maximum of 30% of the total land area of the parcel (exclusive of special flood hazard area and stream buffers) or 2) as part of a vertical mixed use dwelling/live work with commercial or office uses on the ground floor. As a conditional district rezoning request the applicant has submitted conditions, an associated site plan, and elevations.

According to the site plan, submitted as a condition of rezoning, the proposal would be limited to thirteen (13) new townhome units (approximately 1,600 SF each), divided between two (2) structures. The proposed residential buildings face inward toward the parking lot with the rear facades facing the residential property to the west and Old Charlotte Rd. Parking for the townhomes would come in the form of a shared parking lot centered between the buildings and accessed from Dulin Dr. SW. The proposed parking meets minimum requirements for the development and would not be highly visible from Old Charlotte Rd. due to the building locations but would be visible from Dulin. The overall density of the project would be 10.2 DUA. The maximum density of RC zoning is 15 du/a. Furthermore the permitted density for the existing C-2 zoning district would be a maximum of 15 du/a, provided that no more than 30% of the total land area of the parcel (exclusive of special flood hazard area and stream buffers) was dedicated to the multi-family use. Additionally, if developed under C-2, multi-family units above nonresidential uses and part of a vertical mixed use are not subject to maximum density requirements but must meet all other CDO standards including the maximum height limits.

In accordance with the CDO, setbacks from the front property line to the parking lot are 20'. The applicant has proposed a concrete walkway to connect each townhome entrance to the public sidewalk in front of each unit and the sidewalk would connect into the parking lot. The sidewalk would be back of curb. The property is setback 20ft from the adjacent single-family detached structure to the west. Street side setbacks include 20ft from the future right of way for Old Charlotte Rd and 20feet off of the Dulin right-of-way. Units are depicting space for private patio areas within those 20ft setbacks.

Required open space for the RC zoning district is a minimum of 20% or 0.244 acres if the density is greater than four units per acre. Under the current conditional district proposal, the applicant has provided 21.1 % 0.2569 acres in the form of passive greenspace along the south side of the property, behind parking lot. The applicant is proposing a playground/exercise area which is depicted on the site plan.

In addition to the open space, the site plan provides for a 20' Type C buffer along the southern property line. The abutting properties to the south are zoned C-1 (Light Commercial) and C-2. The minimum buffer between C-1 and a multi-family use is 15ft wide while the C-2 zoning would warrant a 20ft buffer. The property directly to the west is zoned RC and is developed as single-family attached. According to the CDO, the proposed use is required to install an 8' wide Type A Buffer to meet minimum standards. As shown on the site plan, minimum buffer standards have been provide along both abutting property lines. Further the City Arborist has reviewed the proposed street yard buffers widths and although the applicant did not submit a detailed landscape plan, the Arborist has certified that required plantings would feasibly fit within the allotted space.

The CDO also requires that elevation renderings be submitted for multi-family developments. The applicant has submitted two rendering of the proposed structures. As can be seen on the images,

the multi-family structures are 2 stories tall. Materials include hardie board, treated wood trim, and architectural asphalt shingles. Each unit has a covered entry over the front door and the units are elevated from grade by steps onto the front stoop. While the materials meet the standards in the Concord Development Ordinance the rendering doesn't align with the site plan. The view from the front of the elevation will face a parking lot.

Although the proposal is for a multi-family use based on site design, the structures are two-story and designed architecturally consistent with townhomes, the maximum building height under the proposal is 35 feet. The existing C-2 zoning would allow a new non-residential structure to be a maximum of 48 ft. However, portions of the building exceeding thirty-five (35) feet shall be setback an additional two (2) feet from the required building setback for each foot of height in excess of thirty-five (35) feet. The residential structures adjacent directly and across the street from the subject property are all one to one and half stories.

The site plan has been reviewed by all applicable City departments and no outstanding issues have been left unresolved. If approved, the request will need to be forwarded to City Council for approval and a Land Use Plan amendment to accommodate the proposed use and zoning district.

Properties to the north are zoned RC and are developed as single-family detached and single-family Properties to the east and west are zoned RC and are developed as single-family detached. Properties to the south are zoned C1-CD and C-2. The C1-CD parcel is the location of the Snobbs Salon and Spa. The property to the south, on the north corner of the Union Cemetery and Old Charlotte Rd intersection, is zoned C-2 and is primarily vacant aside from a small non-residential structure. The most recent permit issued for the site is was for Ages Ago Antiques in 2018. It is unclear if the use is still active. Prior to 2018 the lot had been permitted for a farmers market and various other temporary uses over the years.

Existing Zoning and Land Uses					
Zoning of Subject Property	Zoning Within 500 Feet		Land Uses(s) of Subject Property	Land Uses Within 500 Feet	
C-2 (General Commercial)	North	RV (Residential Village) and RC (Residential Compact)	Church along with parking lot and daycare	North	Single Family Detached
	East	O-I (Office and Intuitional), RV (Residential Village)		East	Single Family Detached
	South	C-2 (General Commercial)		South	Salon and Spa and a nonresidential lot
	West	C-2 (General Commercial), RV (Residential Village)		West	Single Family Detached

COMPLIANCE WITH 2030 LAND USE PLAN

The 2030 LUP designates the subject property as a “*Suburban Neighborhood*” for 848 Old Charlotte Road. RC (residential Compact) is not a corresponding zoning district to the “*Suburban Neighborhood*” land use category, and therefore is not consistent with the Land Use Plan. Approval of the conditional rezoning plan would require a Land Use Plan amendment by City Council. For consistency with the proposed zoning of RC-CD, and the proposed density of 10.2 du/a, if approval is desired, Planning Staff recommends the Urban Neighborhood Land Use Category. Urban Neighborhood would allow RC zoning and up to 15du/a. The Urban Neighborhood density could only be accomplished through a special purpose district such as a PUD. Property designated as Urban Neighborhood is located to the north, west and east. Property to the south is designated as Suburban Neighborhood, consistent with the subject property.

Existing Land Use Category:

“Suburban Neighborhood” (SN)

The Suburban Neighborhood (SN) Future Land Use category includes single-family areas that are formed as subdivisions or communities, with a relatively uniform housing type and density throughout. They may support a variety of single-family detached residential types, from low-density single-family homes to denser formats of smaller single-family homes. In areas designated Suburban Neighborhood, homes are typically oriented interior to the neighborhood and are typically buffered from surrounding development by transitional uses or landscaped areas. Single-family attached dwellings are an option for infill development within the suburban neighborhood future land use category. These neighborhoods are often found in close proximity to suburban commercial, office, and industrial centers, and help provide the consumers and employment base needed to support these centers. Lots at intersections of collector and arterial streets within or at the edges of suburban neighborhoods may support small-scale, neighborhood serving, pedestrian-oriented commercial or service uses such as coffee shops, cafes, beauty salons and light retail. Pedestrian oriented uses exclude uses with drive-in, drive-through or automobile related services.

Recommended Land Use Category (If approval of the zoning map amendment is desired):-

“Urban Neighborhood” (UN)

The Urban Neighborhood (UN) Future Land Use category includes a mix of moderate- to high-density housing options. These neighborhoods are relatively compact, and may contain one or more of the following housing types: small lot, single family detached, townhomes, condominiums, or apartments. The design and scale of development in an urban neighborhood encourages active living with a complete and comprehensive network of walkable streets. Cul-de-sacs are restricted to areas where topography, environment, or existing development makes other connections prohibitive. Lots at intersections of collector and arterial streets within or at the edges of urban neighborhoods may support neighborhood- and community-serving, pedestrian-oriented commercial or service uses such as coffee shops, cafes, beauty salons and light retail. Drive-through uses may be appropriate if designed and located so they access side streets and do not compromise pedestrian safety. Non-residential and multi-family uses are typically developed

with minimal street setbacks in the urban neighborhood future land use category.

The following goals, objectives and policy guidance relate to the proposed zoning amendment.

Goal 1: *Maintain a sustainable balance of residential, commercial, and industrial land uses.*

Objective 1.6: *Provide a diverse mix and range of housing options throughout the City that will accommodate the current and future needs of the citizens of Concord.*

- **Infill Housing:** *Promote a variety of compatible infill housing types in areas with access to adequate facilities and services.*
- **Housing Balance:** *Ensure that zoning allows for a mix of housing types at a variety of prices to meet the demands of existing and future residents.*
- **Mixed-Density Housing:** *Foster a compatible mix of higher density housing types at different densities within mixed-use activity centers and village centers.*

Goal 4: *Ensure compatibility between neighboring land uses*

Objective 4.1: *Use a combination of land use transitions, intensity gradients, buffering, and design to ensure that land use transitions are compatible.*

Policy Guidance for Objectives 4.1 to 4.3:

- **Land Use and Intensity Transitions:** *Zoning use and site development standards should promote a gradient in the type and intensity of uses. For instance, higher density residential development can provide a compatible transition between medium-density residences and neighborhood commercial centers.*
- **Buffers:** *Buffers should be used to screen uses and activities that may detract from the enjoyment of adjacent land uses. Where large buffers are not necessary, the landscape design should soften land use transitions;*
- **Building and Site Design Standards:** *Where land use transitions are necessary to support a walkable mix of uses or housing types, a variety of development standards should ensure that the location, scale, height and orientation of buildings and site improvements provide for compatible transitions.*

SUGGESTED STATEMENT OF CONSISTENCY

- The subject property is approximately 1.27 Acres +/- and is zoned C-2 (General Commercial).
- The subject property was incorporated into the City Limits June 30, 1986 and consists of one (1) parcel of record (5529-48-0610) with nonresidential structures and associated parking.
- The proposed zoning amendment is inconsistent to the 2030 Land Use Plan (LUP) as RC (Residential Compact) is not considered a corresponding zoning district to the Suburban Neighborhood land use category. However, the conditional rezoning would permit the development of a 13-unit infill multi-family residential development which would provide a new housing type that does not exist within the area. The proposal would further the LUP Guidance 1.6 encouraging compatible infill development and housing varieties. Urban Neighborhood also surrounds the subject property on three sides.
- The zoning amendment is reasonable and in the public interest because would provide for a type of residential infill development not found within the near vicinity, providing a unique housing type to meet a variety of housing needs. The proposal also meets all minimum CDO standards and ensures compatibility between neighboring land uses through transitions in land use intensity and buffers. Although the proposal is for a multi-family use, the proposal could be viewed as a transition between the commercial intersection of Old Charlotte Rd and Union Cemetery Rd, and the two-story, single-family detached, development to the north and west.

SUGGESTED RECOMMENDATION AND CONDITIONS

The staff finds the request inconsistent with the 2030 Land Use Plan, and will require an amendment to the Land Use Plan in order to provide consistency. The plan also meets the requirements of the Concord Development Ordinance. Because this petition is a conditional district request, the Commission, should they decide to approve the request, may, according to Section 3.2.8.E of the CDO, suggest **“reasonable additional conditions or augment those already provided with the petition, but only those conditions mutually agreed upon by the petitioner and the Commission or Council may be incorporated into the approval. Any such condition should relate to the relationship of the proposed use to surrounding property, proposed support facilities such as parking areas and driveways, pedestrian and vehicular circulation systems, screening and buffer areas, the timing of development, street and right-of-way improvements, water and sewer improvements, storm water drainage, the provision of open space and other matters that the Commission or Council may find appropriate.”**

In the event that the Commission approve the petition, staff recommends the following conditions:

1. Compliance with the “Sky Summer Landing Rental Townhomes Rezoning Site Plan” Sheet 1 of 3 dated 12-13-21 and last revised 12-13-21 and the elevation rendering sheets titled A-200, A-201, and A-203, submitted at the 1/18/22 rezoning hearing.
2. No more than 13 dwelling units shall be permitted on the site.
3. Per the submitted site plan, during the Preliminary Plat review, detailed renderings of the proposed playground or workout area shall be submitted.
4. Compliance with all minimum requirements of the CDO and all other applicable adopted use and site design regulations.

5. Technical site plan review and approval shall be required.

PROCEDURAL CONSIDERATIONS

This particular case is a rezoning to a conditional district, which under the CDO, is “legislative” in nature. Legislative hearings DO NOT require the swearing or affirming of witnesses prior to testimony at the public hearing.

Applicant Name, Address, Telephone Number and email address: Dr. Aimy Steele
6012 Bayfield Parkway, Ste #142, Concord, NC 28027

Owner Name, Address, Telephone Number: James & Rhoda Waters
550 E. Stonewall Street, Apt #1610, Charlotte, NC 28202

Project Location/Address: 848 Old Charlotte Road, Concord, NC 28027
P.I.N.: 5529-48-0610

Area of Subject Property (acres or square feet): 1.27 acres

Lot Width: 316.91 ft Lot Depth: 180.83 ft

Current Zoning Classification: C2 (General Commercial)

Proposed Zoning Classification: RC-CD (Residential Compact Conditional District)

Existing Land Use: Church

Future Land Use Designation: Multi-Family Homes (Townhome units)

Surrounding Land Use: North SFR South Commerical Hair Salon
East SFR West SFR

Reason for request: The owner desires to create a moderately priced multi-family development for the purpose of providing homes to lease that are reasonably affordable for moderate income residents.

Has a pre-application meeting been held with a staff member? Yes

Staff member signature: _____ Date: _____

THIS PAGE APPLICABLE TO CONDITIONAL DISTRICT REQUESTS ONLY

(Please type or print)

1. List the Use(s) Proposed in the Project:

Multi-Family Homes (Townhome units)
 RC-CD (Residential Compact Conditional District)

2. List the Condition(s) you are offering as part of this project. Be specific with each description.

(You may attach other sheets of paper as needed to supplement the information):

Conditions include offering lease opportunities to those who fall within the income range of income who need a safe, affordable, and reasonable space to live.

The owners support the results of the 2019 Affordable Housing Market Study done on behalf of the City of Concord which found that more affordable units rental units are needed here in the City and County. The owners plan to offer rental homes that are priced for those in the 80% AMI (Area Median Income) range.

I make this request for Conditional district zoning voluntarily. The uses and conditions described above are offered of my own free will. I understand and acknowledge that if the property in question is rezoned as requested to a Conditional District the property will be perpetually bound to the use(s) specifically authorized and subject to such conditions as are imposed, unless subsequently amended as provided under the City of Concord Development Ordinance (CDO). All affected property owners (or agents) must sign the application.

Aimy Steele
 Signature of Applicant 9/16/21
 Date

Rhoda Waters
Rhoda Waters (Sep 17, 2021 08:51 EDT)
 Signature of Owner(s) Sep 17, 2021
 Date

Certification

I hereby acknowledge and say that the information contained herein and herewith is true, and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Development Services Department.

Date: 9/16/21

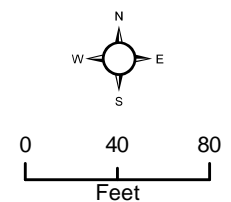
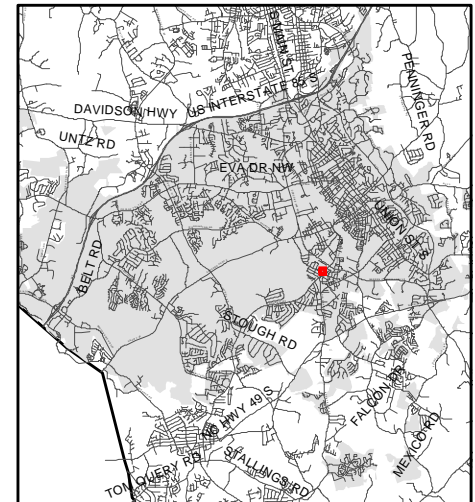
Applicant Signature: *Aimy Steele*

Property Owner or Agent of the Property Owner Signature:
Aimy Steele 
Rhoda Waters (Sep 17, 2021 08:51 EDT)

**Z(CD)-28-21
AERIAL**

**Rezoning application from
C-2 (General Commercial) to
RC-CD (Residential Compact
Conditional District) and
Land Use Plan Amendment
from Suburban Neighborhood
to Urban Neighborhood
for the purpose of developing
15 multi-family units**

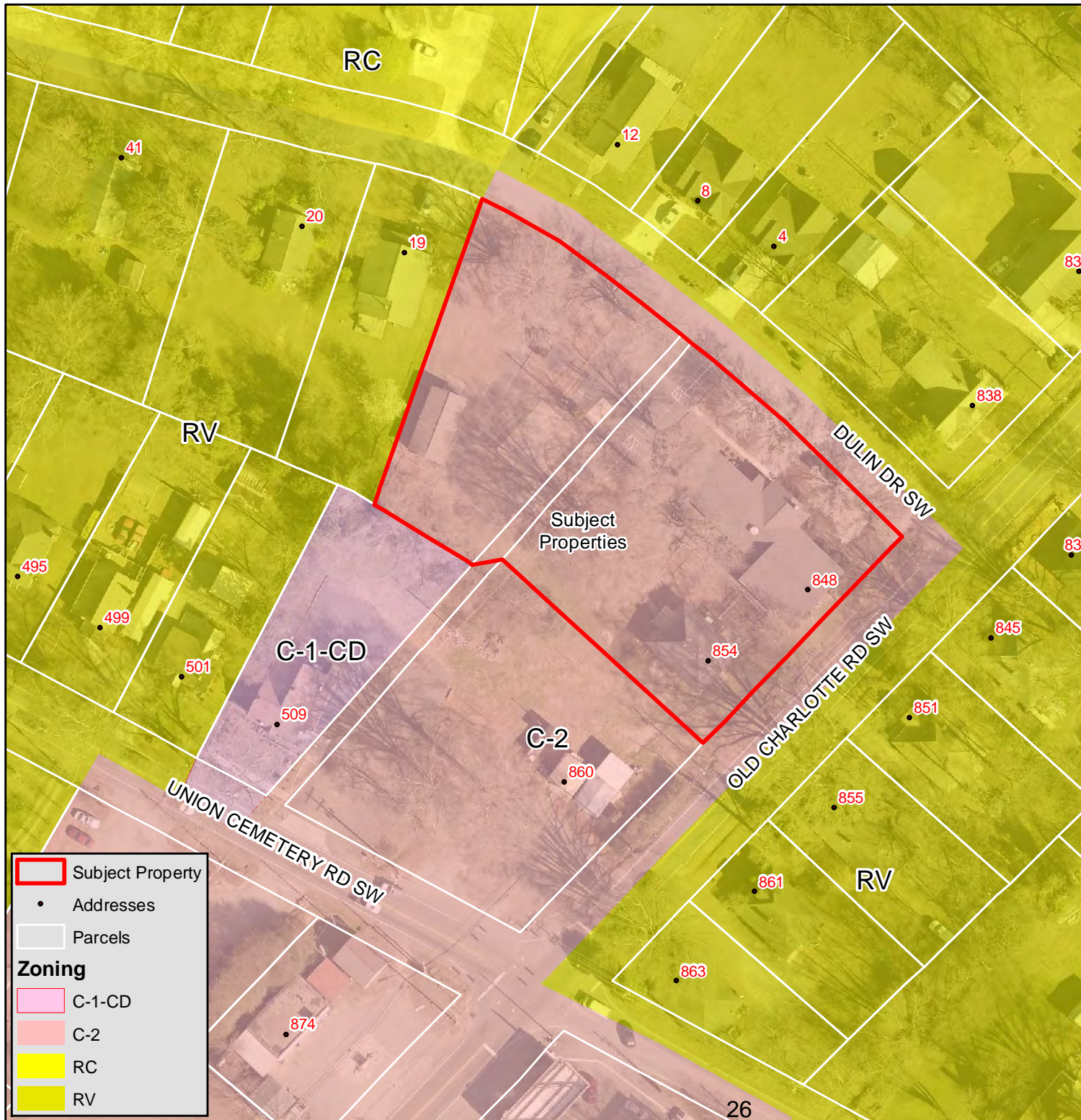
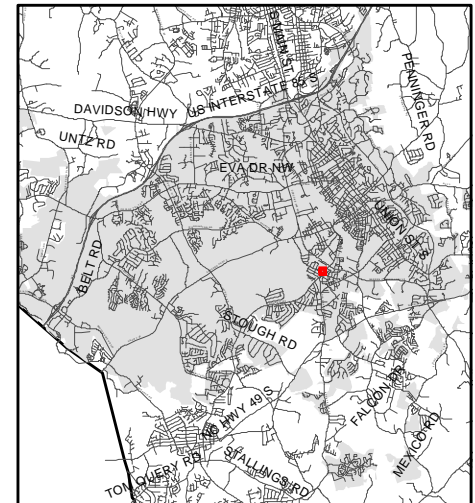
Old Charlotte Rd SW & Dulin Dr SW
PIN: 5529-48-0610



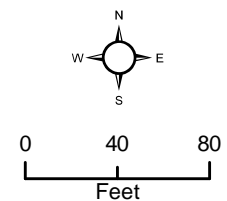
Z(CD)-28-21 ZONING

Rezoning application from
C-2 (General Commercial) to
RC-CD (Residential Compact
Conditional District) and
Land Use Plan Amendment
from Suburban Neighborhood
to Urban Neighborhood
for the purpose of developing
15 multi-family units

Old Charlotte Rd SW & Dulin Dr SW
PIN: 5529-48-0610



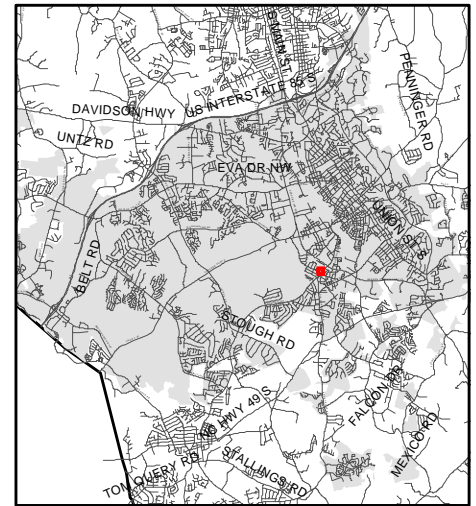
	Subject Property
	Addresses
	Parcels
Zoning	
	C-1-CD
	C-2
	RC
	RV



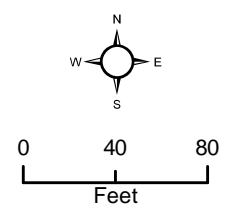
**Z(CD)-28-21
LAND USE PLAN**

**Rezoning application from
C-2 (General Commercial) to
RC-CD (Residential Compact
Conditional District) and
Land Use Plan Amendment
from Suburban Neighborhood
to Urban Neighborhood
for the purpose of developing
15 multi-family units**

Old Charlotte Rd SW & Dulin Dr SW
PIN: 5529-48-0610

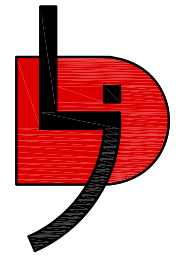


	Subject Property
	Addresses
	Parcels
Land Use Plan	
	Suburban Neighborhood
	Urban Neighborhood





1 RENDERING
A203 N.T.S.



LDJ INNOVATIVE
DESIGN GROUP, PLLC

1800 Camden Road,
Suite 107 #193
Charlotte NC, 28203-0001

Civil Engineer:
Company Name
Company Address
Company Address
Telephone Number

Structural Engineer:
Company Name
Company Address
Company Address
Telephone Number

Plumbing, Mechanical, Electrical Engineer:
Company Name
Company Address
Company Address
Telephone Number

Consultant:
Company Name
Company Address
Company Address
Telephone Number

Drawn

Checked

Date

Revisions

1 Date

2 Date

3 Date

4 Date

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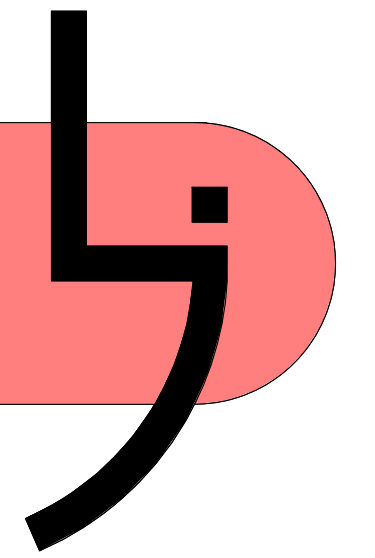
Sky Summer Landing
Concord, NC

Project Number 003

Title
RENDERING

Sheet of
A203

Plate



LDJ INNOVATIVE
DESIGN GROUP, PLLC

1800 Camden Road,
Suite 107 #193
Charlotte NC, 28203-0001



1 FRONT ELEVATION
SCAL 1/4" = 1'-0"
E:

Drawn
Checked
Date
Revisions
1 Date
2 Date
3 Date
4 Date

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**Sky Summer
Landing**
Charlotte, NC 28208

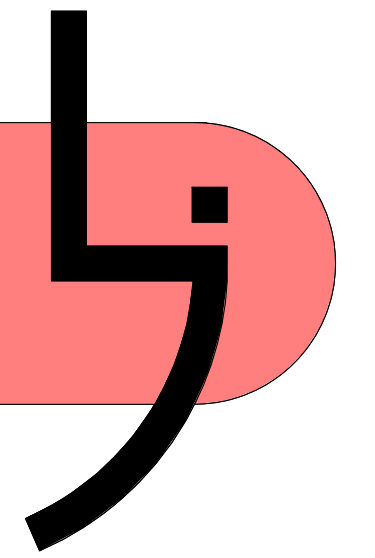
Project Number 003

Title
Elevations

Sheet of
A200
Plate



2 LEFT SIDE ELEVATION
SCAL 1/4" = 1'-0"
E:

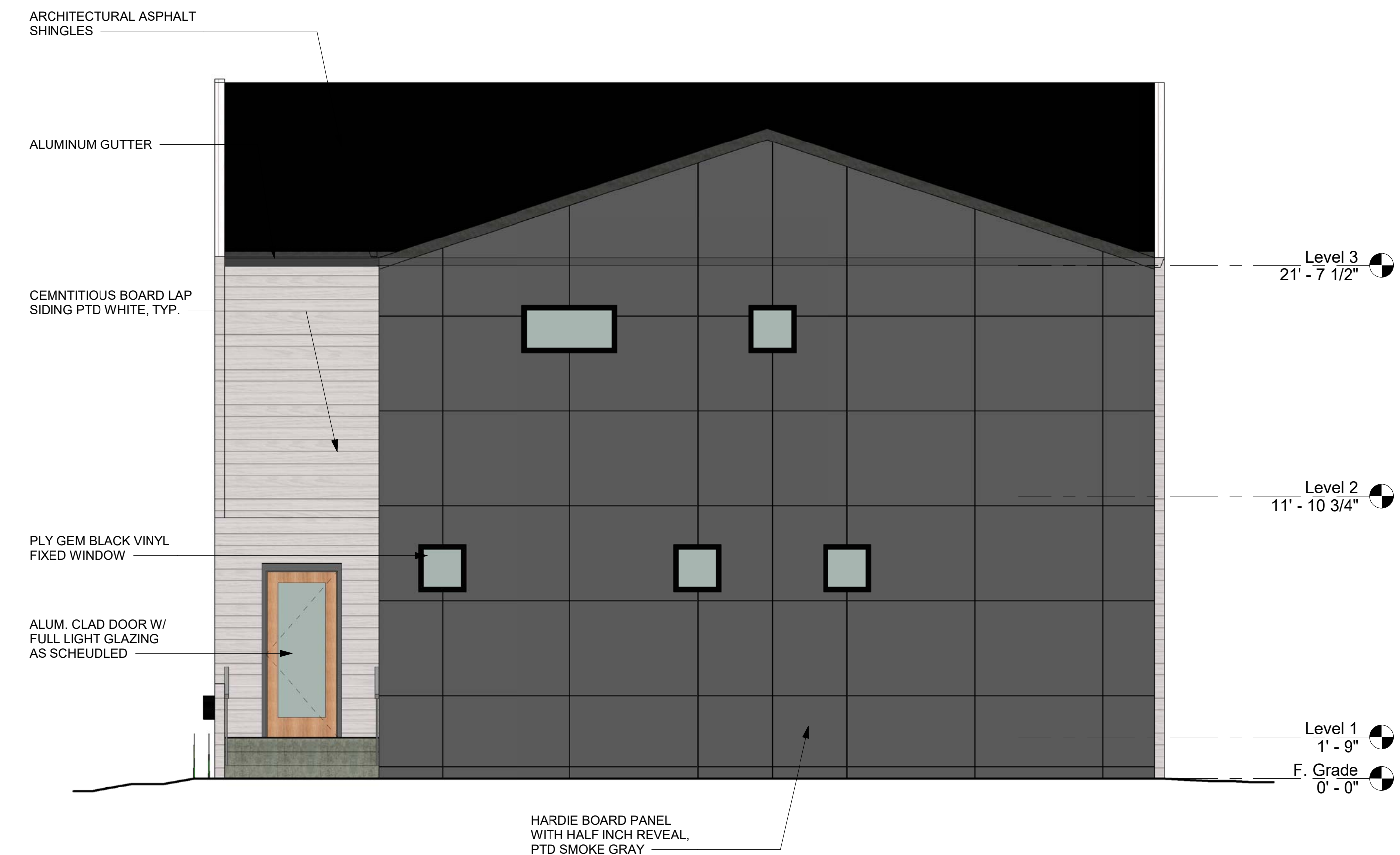


LDJ INNOVATIVE
DESIGN GROUP, PLLC

1800 Camden Road,
Suite 107 #193
Charlotte NC, 28203-0001



1 REAR ELEVATION
A102 SCAL 1/4" = 1'-0"
E:



2 RIGHT SIDE ELEVATION
A102 SCAL 1/4" = 1'-0"
E:

Drawn	
Checked	
Date	
Revisions	
1 Date	
2 Date	
3 Date	
4 Date	

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**Sky Summer
Landing**
Charlotte, NC 28208

Project Number 003

Title
Elevations

Sheet of

A201

Plate

CONDITIONAL NOTES:

GENERAL WATER & SEWER REQUIREMENTS:

THE DEVELOPER SHALL BE RESPONSIBLE FOR ANY REQUIRED SYSTEM MODIFICATIONS AND/OR EXTENSIONS TO ENSURE SERVICE TO THE PROPOSED DEVELOPMENT IN ACCORDANCE WITH CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3; THE CITY OF CONCORD'S POLICIES AND STANDARD SPECIFICATIONS; NC FIRE CODE; WATER AND SEWER AUTHORITY OF CABARRUS COUNTY'S STANDARD SPECIFICATIONS; AND THE NORTH CAROLINA ADMINISTRATIVE CODE FOR WASTEWATER COLLECTION AND WATER DISTRIBUTION SYSTEMS. PLEASE REFERENCE THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3, THE CITY'S TECHNICAL DESIGN DETAILS, THE CITY OF CONCORD WATER AND SEWER APPLICATIONS AND CHECKLISTS FOR ADDITIONAL REQUIREMENTS AND TECHNICAL DESIGN REQUIREMENTS.

MINIMUM FIRE FLOW AT PEAK WATER DEMAND ANALYSIS - IT IS RECOMMENDED THAT CURRENT HYDRANT FLOW TEST DATA BE OBTAINED FROM THE EXISTING WATER MAIN AND A HYDRAULIC EVALUATION BE CONDUCTED TO VERIFY WHETHER OR NOT THE EXISTING WATER MAIN WILL SUPPORT THE REQUIRED FIRE FLOW REQUIREMENTS IN ACCORDANCE WITH NC FIRE CODE AND TITLE 15A NCAC 18C.

PUBLIC UTILITY EASEMENTS:

THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ANY REQUIRED OFF-SITE EASEMENTS TO ENSURE SERVICE TO THE PROPOSED SITE. DOCUMENTATION OF THE OFF-SITE EASEMENTS ARE REQUIRED PRIOR TO FORMAL APPROVALS AND AUTHORIZATION TO CONSTRUCT.

PUBLIC PORTIONS OF THE WATER AND SEWER SERVICES ARE TO BE ENCOMPASSED IN PUBLIC ROAD RIGHT OF WAY, PUBLIC 30-FT UTILITY EASEMENTS, AND/OR A COMBINATION OF BOTH BASED ON THE DESIGNS AND ALIGNMENT OF THE PUBLIC UTILITY. ADDITIONAL EASEMENT AND/OR EASEMENT WIDTH MIGHT BE REQUIRED DUE TO DEPTH, LOCATION, AND/OR ACCESS. REFERENCE THE CITY OF CONCORD CODE OF ORDINANCE CHAPTER 62, ARTICLE 3.

A PUBLIC UTILITY EASEMENT IS TO BE INDICATED THAT ENCOMPASSES THE PUBLIC WATER MASTER METER VAULT AND PIPING ASSEMBLY LOCATED BEHIND THE SIDEWALK. THIS EASEMENT MUST BE INDICATED ON THE MASTER PLAN, PRELIMINARY/FINAL PLATS AND DESIGN DOCUMENTS, AS APPLICABLE.

MULTI-FAMILY:

IN GENERAL, THE INTERNAL WATER AND SEWER UTILITIES THAT SERVE MULTI-FAMILY DEVELOPMENTS ARE TYPICALLY PRIVATE AND SERVED BY MASTER WATER SERVICE METER ASSEMBLIES.

AN ABOVE GROUND REDUCED PRESSURED BACKFLOW ASSEMBLY (RP) WILL BE REQUIRED ON ALL PROPOSED MULTI-FAMILY DOMESTIC MASTER WATER METER SERVICE ASSEMBLIES AND IRRIGATION WATER SERVICES. BACKFLOWS ARE TO BE LOCATED OUTSIDE OF THE PUBLIC ROAD RIGHT OF WAYS/EASEMENTS IN A LEVEL AREA NEAR THE WATER METER. THE BACKFLOW DEVICES CANNOT BE SUBJECT TO STORM WATER POOLING/RUN-OFF AND PEDESTRIAN/VEHICULAR TRAFFIC. BACKFLOWS ARE SUBJECT TO THE CITY'S ADOPTED TESTING AND CERTIFICATION REQUIREMENTS INDICATED IN ON THE WATER RESOURCES WEBSITE.

AN ABOVE GROUND REDUCED PRESSURED WITH A BUILT-IN BY-PASS METERING ASSEMBLY BACKFLOW UNIT (RPDA) WILL BE REQUIRED ON THE DEDICATED FIRE SERVICE LINES. BACKFLOWS ARE TO BE LOCATED OUTSIDE OF THE PUBLIC ROAD RIGHT OF WAYS/EASEMENTS IN A LEVEL AREA NEAR THE WATER LINE CONNECTION. THE BACKFLOW DEVICES CANNOT BE SUBJECT TO STORM WATER POOLING/RUN-OFF AND PEDESTRIAN/VEHICULAR TRAFFIC. BACKFLOWS ARE SUBJECT TO THE CITY'S ADOPTED TESTING AND CERTIFICATION REQUIREMENTS INDICATED IN ON THE WATER RESOURCES WEBSITE.

PUBLIC WATER AND SEWER UTILITY PERMITTING:

ONLY THE PUBLIC PORTION OF THE PROPOSED WATER AND SEWER UTILITY EXTENSIONS ARE PERMITTED THROUGH THE CITY OF CONCORD'S DELEGATED LOCAL PERMITTING PROGRAM, AS APPLICABLE.

THE INTERNAL PRIVATE WATER AND SEWER UTILITY EXTENSIONS TO SERVE THE 16 UNITS ARE TO BE PERMITTED THROUGH NCDEQ DIVISION OF WATER RESOURCES.
[HTTPS://DEQ.NC.GOV/ABOUT/DIVISIONS/WATERRESOURCES](https://deq.nc.gov/about/divisions/waterresources)

COPIES OF THE CITY OF CONCORD'S MOST CURRENT PERMIT APPLICATIONS ARE AVAILABLE ON THE CITY OF CONCORD'S ENGINEERING FORM AND DOWNLOADS WEB PAGE AT
[HTTPS://WWW.CONCORDNC.GOV/DEPARTMENTS/ENGINEERING/FORMS-DOWNLOADS](https://www.concordnc.gov/departments/engineering/forms-downloads)

THE EXECUTED WATER AND SEWER PERMIT APPLICATIONS ARE TO BE SUBMITTED WITH THE CIVIL DESIGN REVIEW PACKAGE THROUGH THE CITY OF CONCORD PLANNING ON-LINE REVIEW WEB SITE.
[HTTPS://WWW.CONCORDNC.GOV/DEPARTMENTS/PLANNING/ZONING-SERVICES/ONLINE-ACCESS](https://www.concordnc.gov/departments/planning/zoning-services/online-access)

THE PUBLIC WATER AND SEWER PERMIT APPLICATION FEES ARE ASSESSED AS PART OF THE SITE REVIEW FEES.
THE ADOPTED ENGINEERING APPLICATION REVIEW FEES ARE LOCATED IN THE CITY'S ADOPTED FEE SCHEDULE UNDER ENGINEERING HEADING AT
[HTTPS://WWW.CONCORDNC.GOV/DEPARTMENTS/FINANCE/ADOPTED-FEES-SCHEDULE](https://www.concordnc.gov/departments/finance/adopted-fees-schedule)

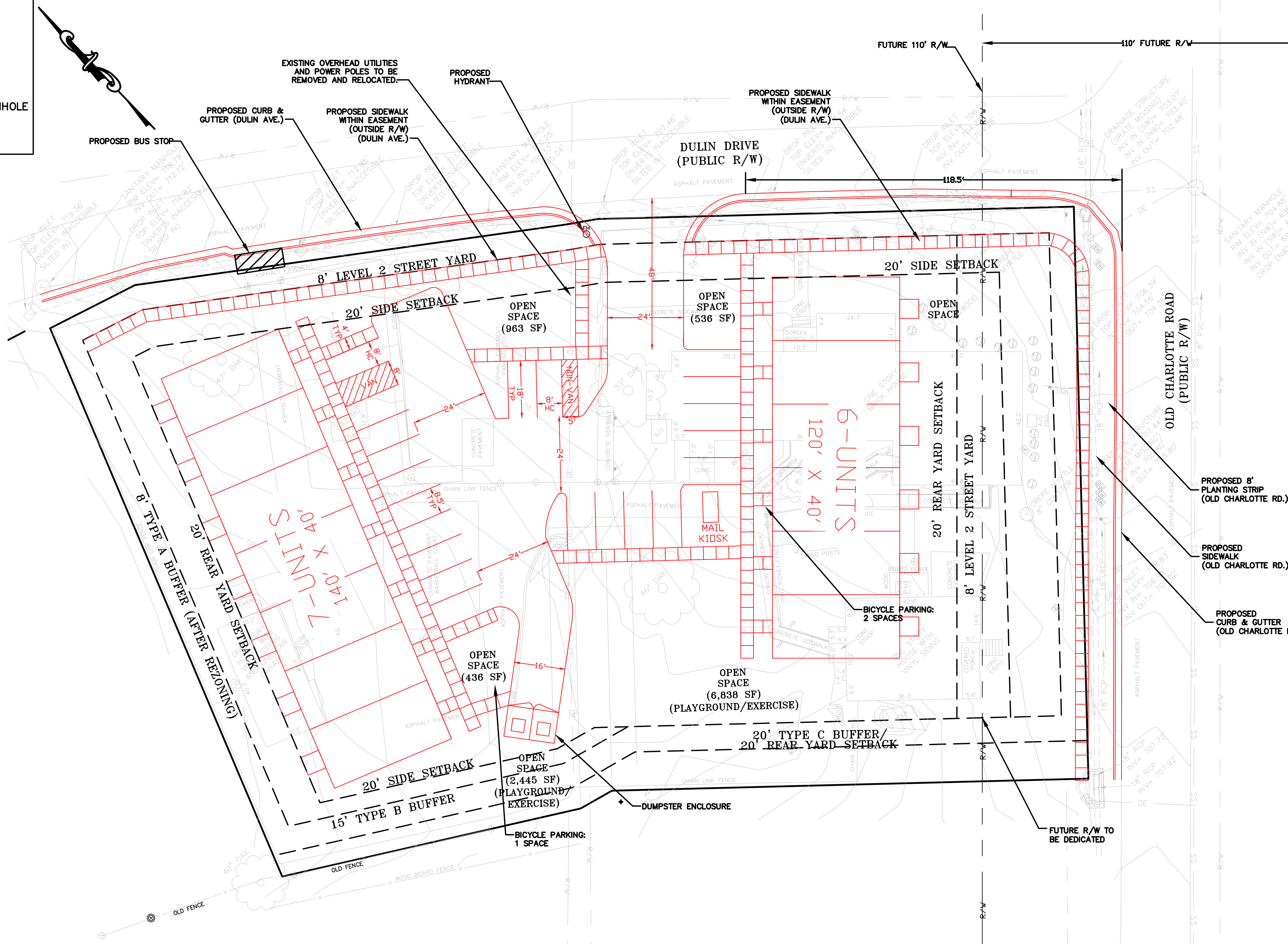
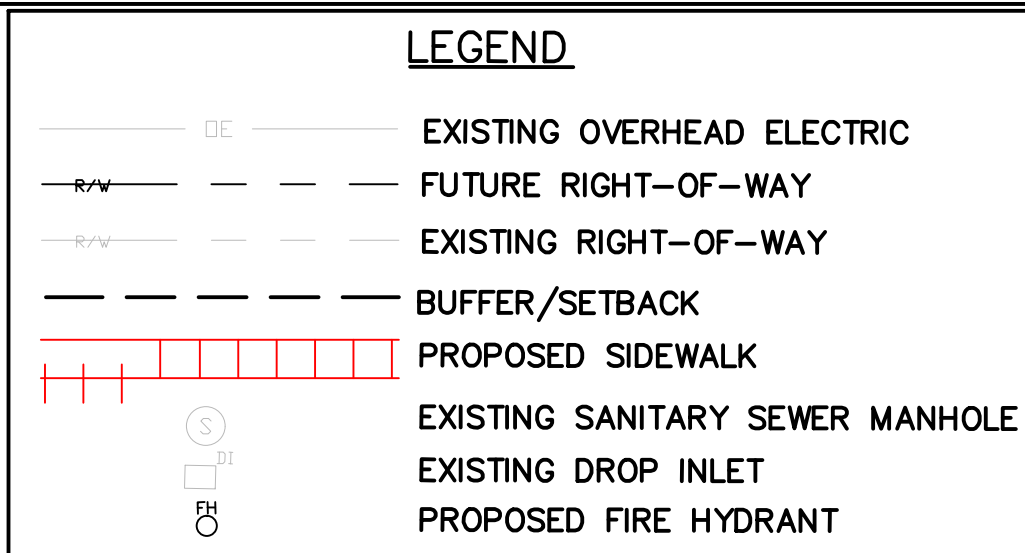
CITY OF CONCORD WATER AND SEWER CONNECTION FEES AND CHARGES: THE CITY'S ADOPTED FEE SCHEDULE CAN BE VIEWED AT:
[HTTPS://WWW.CONCORDNC.GOV/DEPARTMENTS/FINANCE/ADOPTED-FEES-SCHEDULE](https://www.concordnc.gov/departments/finance/adopted-fees-schedule)

RESIDENTIAL:

THE WATER AND SEWER CONNECTION CHARGES FOR RESIDENTIAL MULTIFAMILY (APARTMENTS/LEASED RESIDENTIAL SINGLE FAMILY/TOWNHOMES) DEVELOPMENT WITH MASTER WATER METER SYSTEMS WITH PRIVATE INTERNAL WATER AND SEWER LINES ARE ASSESSED AS PART OF SITE PLAN SUBMISSION AND ARE BASED ON MOST CURRENT FEE SCHEDULE AT THE TIME OF APPROVAL.

CABARRUS COUNTY FEES & CHARGES:

PLEASE BE ADVISED THAT CABARRUS COUNTY ASSESSES THE WATER & SEWER AUTHORITY OF CABARRUS COUNTY'S (WSACC) SYSTEM DEVELOPMENT FEE AS PART OF THE BUILDING PLAN REVIEW FEES THAT IS SEPARATE FROM THE CITY OF CONCORD'S FEES AND CHARGES. PLEASE REFERENCE THE CABARRUS COUNTY'S ADOPTED FEES AND CHARGES FOR FURTHER INFORMATION AND WSACC'S FEES AT [WWW.WSACC.ORG](http://www.wsacc.org)



GENERAL NOTES:

1. 8' LEVEL 2 STREET YARD SHALL LIE BEHIND SEWER EASEMENT (DULIN) AND/OR BEHIND ANY FUTURE R/W OR OTHER EASEMENTS.
2. ALL INTERIOR ROADS WILL BE PRIVATE.
3. DEVELOPER SHALL OBTAIN CITY DRIVEWAY PERMIT.
4. DEVELOPER SHALL REQUEST A HYDRANT FLOW TEST FROM THE NEAREST EXISTING FIRE HYDRANT.
5. ALL SETBACKS ARE 20' UNLESS OTHERWISE NOTED.
6. ALL GROUND MOUNTED AND ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
7. PROJECT PHASING MAY BE REQUIRED DUE TO LIMITATIONS OF AVAILABLE SEWER CAPACITY ALLOCATION. FLOW ACCEPTANCE IS NOT GUARANTEED UNTIL PROJECT PERMITTING.
8. UTILITIES AND LIGHTING:
 - A) ALL UTILITY LINES SHALL BE LOCATED UNDERGROUND.
 - B) OUTDOOR AREA LIGHTING SHALL BE PROVIDED FOR SECURITY. SUCH LIGHTING SHALL BE SHIELDED TO DIRECT LIGHT DOWNWARD AND NOT INTO DWELLING UNITS OR ADJACENT TO, THE MULTI-FAMILY SITE. LIGHTING SHALL BE PROVIDED TO ILLUMINATE THE INTERSECTIONS OF PRIMARY INTERIOR DRIVEWAYS AND BUILDING ENTRYWAYS.

SITE SUMMARY:

CURRENT SITE ADDRESS
848 OLD CHARLOTTE ROAD, SW
CONCORD, NORTH CAROLINA 28027

PARCEL PIN #: 5529-48-0610
SITE ACREAGE: 1.22 AC

EXISTING ZONING: C2
PROPOSED ZONING: RC-CD

NUMBER OF UNITS: 13

PARKING SPACES REQ'D: 21
PARKING SPACES PROVIDED: 21
HANDICAP ACCESSIBLE REQ'D: 2
HANDICAP ACCESSIBLE PROVIDED: 2

MAXIMUM BUILDING LENGTH: 180'
MAXIMUM BUILDING HEIGHT: 35'

BICYCLE PARKING REQ'D: 3
BICYCLE PARKING PROVIDED: 3

SETBACKS:
FRONT: 24'
SIDE: 20'
REAR: 20'

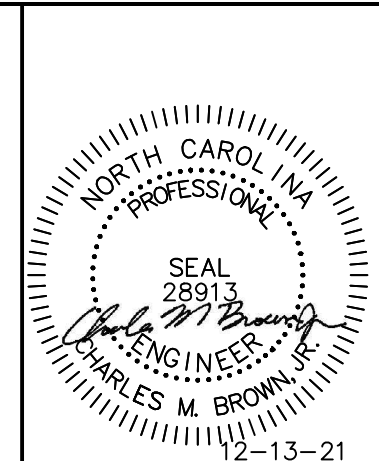
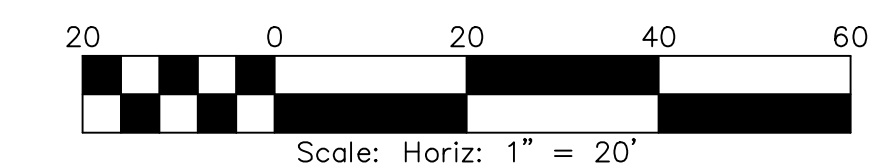
OPEN SPACE REQ'D: 20%
OPEN SPACE PROVIDED: 21.1% (11,218 SF)

IMPERVIOUS MAXIMUM: 50%
EXISTING IMPERVIOUS AREA (DEMOLISHED): 20,332 SF
PROPOSED IMPERVIOUS AREA: 26,448 SF (49.8%)
NET ADDITIONAL IMPERVIOUS: 6,116 SF (14.0%)



CAPSTONE CIVIL ENGINEERING, INC.

704.564.5841 (OFFICE)
980.722.4194 (MOBILE)
WWW.CAPSTONECIVILCOMPANIES.COM
NC CORPORATE REGISTRATION #C-4207



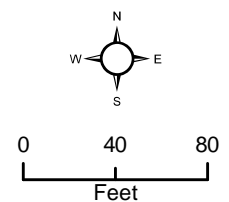
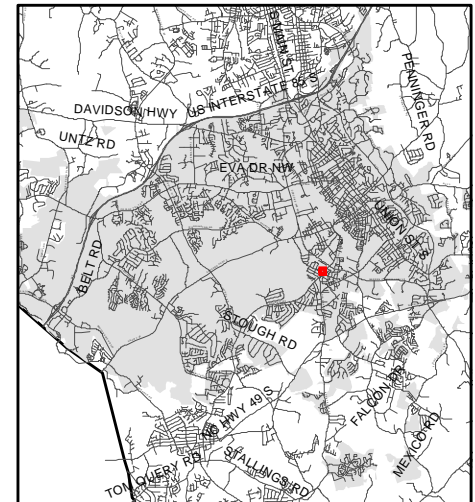
SKY SUMMER LANDING RENTAL TOWNHOMES
CONCORD, NORTH CAROLINA
REZONING SITE PLAN

PROJECT NUMBER 2105	
REVISIONS	
NO.	DATE
DATE ISSUED: 12/13/21	
DRAWN BY: JBS	
CHECKED BY: CB	
SHEET NO.	

**Z(CD)-28-21
AERIAL**

**Rezoning application from
C-2 (General Commercial) to
RC-CD (Residential Compact
Conditional District) and
Land Use Plan Amendment
from Suburban Neighborhood
to Urban Neighborhood
for the purpose of developing
15 multi-family units**

Old Charlotte Rd SW & Dulin Dr SW
PIN: 5529-48-0610





Planning & Neighborhood Development
 35 Cabarrus Avenue, West
 PO Box 308 Concord, NC 28026
 Phone: 704-920-5146
 Email: rogerss@concordnc.gov

Petition for Annexation into the Concord City Limits

Section A Submittal Checklist	
Please include all of the following (check off). If any information is missing from the application package, you will be asked to resubmit the petition with all required materials. Please carefully check the list below before you submit:	
Required – An incomplete application will delay the annexation process.	
X	Written metes and bounds description of the property to be annexed. (Must include in application packet <u>and</u> email a Microsoft Word version to rogerss@concordnc.gov). Mark as Exhibit A . Source can be from Survey or Deed.
X	Map showing above written metes and bounds description of the property to be annexed <u>in relation to the current city limits</u> . Mark as Exhibit B .
X	A Current County Tax Map with parcels included in the annexation request clearly marked. Mark as Exhibit C . http://gis.cabarruscounty.us/gisdataexplorer/
X	Correct Parcel Identification Number(s) (PIN) on second page of application. This is very important. Please indicate if the property to be annexed is only a portion of an existing parcel. http://gis.cabarruscounty.us/gisdataexplorer/
X	Property Owners' Signatures, Date of Signatures, and addresses. See page 3 of this application. <u>All real property owners</u> must sign the application, and such signature <u>must be notarized</u> . An authorized representative must sign on behalf of each legal entity that holds ownership of the property and <u>such representative's signature must be notarized</u> . <u>One signature for each legal ownership interest in the property</u> . Please include signatures of new owners if ownership will change during the annexation process.
X	Notary Statements for each signature
X	General Warranty Deed showing ownership of the property. Petitioners must submit a title opinion or title insurance if a general warranty deed is not available. Upon review, a title opinion may be required in addition to a general warranty deed.
n/a	Statement of vested rights claimed, if any.
X	\$300.00 Application Fee
X	A letter authorizing a developer or agent to handle annexation petition (e.g. withdraw, delay/reactivate petition).
X	This application form (Sections A, B, C, and D) completed, dated and signed by the property owner(s) and attested submitted by the deadlines noted in section B of this application, page 2.
Optional, but will assist in the steps following the annexation process	
X	Section E (Supplemental Information)
X	Copy of any proposed plans, which may include but is not limited to a preliminary site plan or final site plan
X	Appropriate application(s) for City of Concord Planning & Zoning Commission (Rezoning Petition)
X	List of Current Adjacent Property Owners see rezoning plans

Section B Submittal Deadlines

Petitions for annexation are accepted by Planning & Neighborhood Development at any time. Find annexation schedule here: <https://www.concordnc.gov/Departments/Planning/Planning-Services/Annexations> **The annexation will become effective immediately upon adoption of the annexation ordinance at the scheduled public hearing unless notified otherwise by the City Clerk.**

(The City reserves the right to make exceptions to this tentative processing schedule for any reason, including when outstanding staff comments need to be addressed.)

Section C Summary Information / Metes and Bounds Descriptions

Development Project Name Skybrook Corners Expansion

Street Address 10515 & P-O 10435 Poplar Tent Road, Huntersville, NC 28078

Cabarrus County Property Identification Number(s) list below

P.I.N. P-O 4671-73-1211

P.I.N.

P.I.N.

P.I.N.

P.I.N.

P.I.N.

Acreege of Annexation Site 2.387 Total Acres (Tract 1: 1.188 AC & Tract 2: 1.199 AC)

Annexation site is requesting connection to City of Concord Water **and/or Sewer**

Person to contact if there are questions about the petition

Name Brian Pace

Address 6719-C Fairview Road, Charlotte, NC 28210

Phone 704-365-1208

Fax # 704-365-5506

Email bpace@pacedevelopment.com

Written metes and bounds description of property to be annexed

Attach additional sheets if necessary. Petitioners must submit an electronic Microsoft Word version. Petitioners must email an electronic copy to rogerss@concordnc.gov

note: hard copies of the applications with original signatures will be delivered to Concord.

Section D Annexation Petition

State of North Carolina, Cabarrus County, Petition of Annexation of Property to the City of Concord, North Carolina

Part 1 The undersigned, being all the owners of the real property described in this application (Section C) respectfully request the annexation of said property to the City of Concord, North Carolina. **The petitioners understand and agree that any utilities that must be extended to the annexed area are the responsibility of the developers or successive property owners.** The property to be annexed is:

Contiguous to the present primary corporate limits of the City of Concord, North Carolina, or

Satellite (Not Contiguous) to the municipal limits of the City of Concord, and meets all of the requirements for **NCGS §160A-58.1(b)**. This includes that if any portion of an area of the proposed annexation is part of a subdivision, all of the subdivision must be included.

Part 2 NC General Statutes require petitioners of both contiguous and satellite annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S.160A-385.1 or 153A-344.1 for properties subject to the petition.

Do you declare such vested rights for the property subject to this petition? Yes ___ No X

If yes, please submit proof that vested rights have been granted by governing board. I hereby declare that my failure to disclose existence of a vested right terminates any vested right previously acquired for this property.

Signed this 24th day of January, 2022 by the owners of the property described in Section C.

Owner's Signature(s)

Include signatures of new owners if ownership will change during the annexation process.

STAFF NOTE: John Coley is a Skybrook LLC Manager per attached Notary page.

Indicate if owner is signing on behalf of legal entity and in what capacity.

Print Name John T. Coley IV Phone 919-933-1218

Address PO. Box 38, Holly Springs NC 27540

Signature John T. Coley IV Date 1-24-22

Print Name _____ Phone _____

Address _____

Signature _____ Date _____

Print Name _____ Phone _____

Address _____

Signature _____ Date _____

Print Name _____ Phone _____

Address _____

Signature _____ Date _____

Print Name _____ Phone _____

Address _____

Signature _____ Date _____

Print Name _____ Phone _____

Address _____

Signature _____ Date _____

Print Name _____ Phone _____

Address _____

Signature _____ Date _____

A notary statement must be completely filled out for each signature.

PETITION MUST BE NOTARIZED

State of: NORTH CAROLINA
County of: MECKLENBURG

Use this section for individual landowners.

I, _____ [Notary's Name], a Notary Public for said County and State, do hereby certify that the landowner, _____ [Name of Landowner], as stated on the annexation petition, personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Use this section for all land owners that are not individuals, such as (without limitation) corporate land owners, properties held in an estate, properties held in trust, etc.

I, Vicki K. Hollis [Notary's Name], a Notary Public for said County and State, do hereby certify that JOHN T. COLEY [Representative for Landowner], a duly authorized representative for SKYBROOK LLC [Landowner], mentioned on the annexation petition as the landowner, personally came before me this day and acknowledged that he is MANAGER [Title] of said land owner, and acknowledged on behalf of said landowner, the due execution of the foregoing instrument.

Use this section for all individual landowners that are having a Power-of-Attorney execute the Annexation Request.

I, _____ [Notary's Name], a Notary Public for Said County and State, do hereby certify that, _____ [Attorney-In-Fact's Name], Attorney-in-Fact for _____, [Name of Landowner(s)] personally appeared before me this day, and being by me duly sworn, say that he/she executed the foregoing and annexed instrument for and on behalf of said Landowner(s) and that his/her authority to execute and acknowledge said instrument is contained in an instrument duly executed, acknowledged and recorded in the office of the Register of Deeds in the County of _____, State of _____, [County & State of Recording Office] on the ___ day of _____, 20___, [Date of Recording of the Document] and that this instrument was executed under and by virtue of the authority given by said instrument granting him power of attorney. I further certify that the said Attorney-In-Fact acknowledged the due execution of the foregoing instrument for the purposed therein expressed for and on behalf of said Landowners.

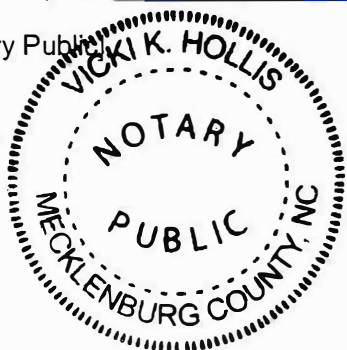
Witness my hand and official seal this 24 day of JANUARY, 2022

Vicki K. Hollis
Notary Public

My commission expires JUNE 23, 2026

[SEAL of Notary Public]

Notary's Stamp:



Section E Supplemental Information

In order for the City of Concord to better serve annexation areas, now and in the future, the City requests the following information from you. Please give your best estimates where they are needed. Contact information for relative City Departments can be found at the end of the worksheet. Please indicate 'N/A' for questions on which you have no information.

Acreage of Area										2.387				
Current Population of Area										0				
Current Zoning of Area										LDR				
Desired City Zoning of Area										RV-CD				
Proposed Use (i.e. residential, commercial, or industrial)										Residential				
Estimated Total Value of Residential Units for the Proposed Development										\$5,700,000				
Total Proposed Number of Dwelling Units										11				
Type of Proposed Dwelling Units (Single Family Detached, Single Family Attached, Multi-Family)										Single Family Attached				
Year 1	11	Year 2		Year 3		Year 4		Year 5						
Estimated Total Value of Business Units for the Entire Proposed Development														
Commercial Value		n/a		Industrial Value		n/a		Other (not-for-profit) Value		n/a				
Proposed Number of Commercial														
Year 1		Year 2		Year 3		Year 4		Year 5						
Proposed Number of Industrial														
Year 1		Year 2		Year 3		Year 4		Year 5						
Proposed Number of Other (not-for-profit)?														
Year 1		Year 2		Year 3		Year 4		Year 5						

Section E (continued) Supplemental Information

Street Information									
Proposed total linear mileage of roadway installed									
Year 1	0.087	Year 2		Year 3		Year 4		Year 5	
Proposed total number of non-state maintained street miles									
Year 1		Year 2		Year 3		Year 4		Year 5	

Water Information									
Typical water service(s) (i.e. 3/4", 1", etc.)									
Number of services installed by developer (by service type)					2" and 8" public with 11- 3/4" services				
Year 1	11	Year 2		Year 3		Year 4		Year 5	
Number of services requested (by service type)									
Year 1	11	Year 2		Year 3		Year 4		Year 5	
Typical irrigation meter size(s) to be installed (i.e. 3/4 ", 1", etc.)									
Number of Services Requested									
Year 1		Year 2		Year 3		Year 4		Year 5	
Estimated Mileage of Water Pipe Needed									
Year 1		Year 2		Year 3		Year 4		Year 5	

Sewer Information									
Typical sewer service(s) (i.e. 4", 6", 8" etc.)					+/- 460' of 8" public with 11 -4" services				
Number of services installed by developer (by service type)									
Year 1	11	Year 2		Year 3		Year 4		Year 5	
Number of services requested (by service type)									
Year 1		Year 2		Year 3		Year 4		Year 5	
Estimated Mileage of Water Pipe Needed									
Year 1		Year 2		Year 3		Year 4		Year 5	

Section E (continued) Supplemental Information

Solid Waste Data									
Number of Rollouts needed for Multi-Family Units									
Year 1	11	Year 2		Year 3		Year 4		Year 5	
Number of commercial units using City rollout collection					n/a				
Year 1		Year 2		Year 3		Year 4		Year 5	
Number of commercial units needing corrugated (cardboard) recycling					n/a				
Year 1		Year 2		Year 3		Year 4		Year 5	
Number of commercial units needing white paper pick-up (recycling)					n/a				
Year 1		Year 2		Year 3		Year 4		Year 5	

PLEASE SUBMIT ANY SKETCH PLANS OR PRELIMINARY PLATS THAT YOU MAY CURRENTLY HAVE FOR YOUR PROJECT.

City Contact Information

Planning and Neighborhood Development	704-920-5146
Water Resources Director	704-920-5343
Director of Electric Services	704-920-5301
Director of Engineering	704-920-5401
Solid Waste Manager	704-920-5351
Fire Chief	704-920-5536
Police Chief	704-920-5000
Transportation	704-920-5362
Legal	704-920-5114

Legend

- Cabarrus Co.
- Concord - zoomed in
- Nearby Cities

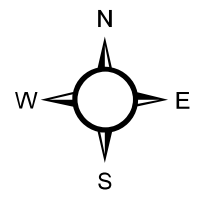


ANX-14-21(A)

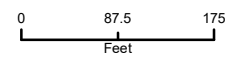
Stinson Property

**Skybrook Corners
Expansion**

**10515 & p/o 10435
Poplar Tent
p/o PIN 4671731211**



Coordinate System - NC State Plane NAD83



Map Disclaimer
These maps and products are designed for general reference only, and data contained herein is subject to change. The City of Concord makes no warranty of merchantability or fitness for any purpose, express or implied, and assumes no legal responsibility for the information contained therein. Data used is from multiple sources - with various scales and accuracies. Additional research, such as field surveys, may be needed to determine actual conditions.

City of Concord, NC
Planning & Neighborhood Development Dept
Geographic Information Systems
July 2020

Exhibit A

Tract 1- 1.188 acres

All that certain parcel of land, situated, lying and being in the #3 Township, Cabarrus County, State of North Carolina, and more particularly described as follows:

Beginning at (POINT OF BEGINNING) a found rebar, being further described as the South-Eastern corner of a tract of land owned Now or Formerly by Skybrook LLC, as recorded in Deed Book 7075, page 32 of the Cabarrus County Register of Deeds, also being located S55-58-03W 30.31' distant of the centerline of Poplar Tent Road (SR #2424), thence from the Point of Beginning N55-58-03E 30.31' to a point at the centerline of Poplar Tent Road (SR #2424), thence with the centerline of Poplar Tent Road S24-44-33E 170.15' to a point, thence leaving the centerline of Poplar Tent Road S52-20-48W 274.60' (passing through a found angle iron at station 0+31.75) to a found rebar, the southeast corner of Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord; Thence with the eastern line of the Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord N37-39-12W 185.63' to rebar found, the northeast corner of Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord on the southern line of the Skybrook LLC, property N55-58-03E 282.92' to a rebar found The Point of Beginning.

Being Tract 1 and containing 1.188 acres in Cabarrus County.

Tract 2- 1.199 acres in Cabarrus County

All that certain parcel of land, situated, lying and being in the #3 Township, Cabarrus County, State of North Carolina, and more particularly described as follows:

Commencing at (POINT OF BEGINNING) a found rebar, being further described as the South-Eastern corner of a tract of land owned Now or Formerly by Skybrook LLC, as recorded in Deed Book 7075, page 32 of the Cabarrus County Register of Deeds, also being located S55-58-03W 30.31' distant of the centerline of Poplar Tent Road (SR #2424), thence from the Point of Beginning N55-58-03E 30.31' to a point at the centerline of Poplar Tent Road (SR #2424), thence with the centerline of Poplar Tent Road S24-44-33E 170.15' to a point, thence leaving the centerline of Poplar Tent Road S52-20-48W 274.60' (passing through a found angle iron at station 0+31.75) to a found rebar, the southeast corner of Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord , Thence S52-20-48W 50.00' to a rebar found, the POINT OF BEGINNING;

Thence with the southern line of the Larry E. Stinson and Myra A. Stinson property S52-20-48W 297.02' to a point on the Cabarrus County Mecklenburg County line; Thence with the Cabarrus County AND Mecklenburg County line N20-14-27W 213.32' to a point on the Cabarrus County Mecklenburg County line on the northern line of the Larry E. Stinson and Myra A. Stinson property; Thence with the northern line of the Larry E. Stinson and Myra A. Stinson property N55-58-03E 233.65' to a point on the northwest corner of Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord; Thence with the western line of Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord S37-39-12E 188.79' to the Point of Beginning.

Being Tract 2 and containing 1.199 acres in Cabarrus County.

STAFF NOTE: Tract 3 is part of separate annexation /ANX-14-21(B)

Tract 3- 0.507 acres in Mecklenburg County

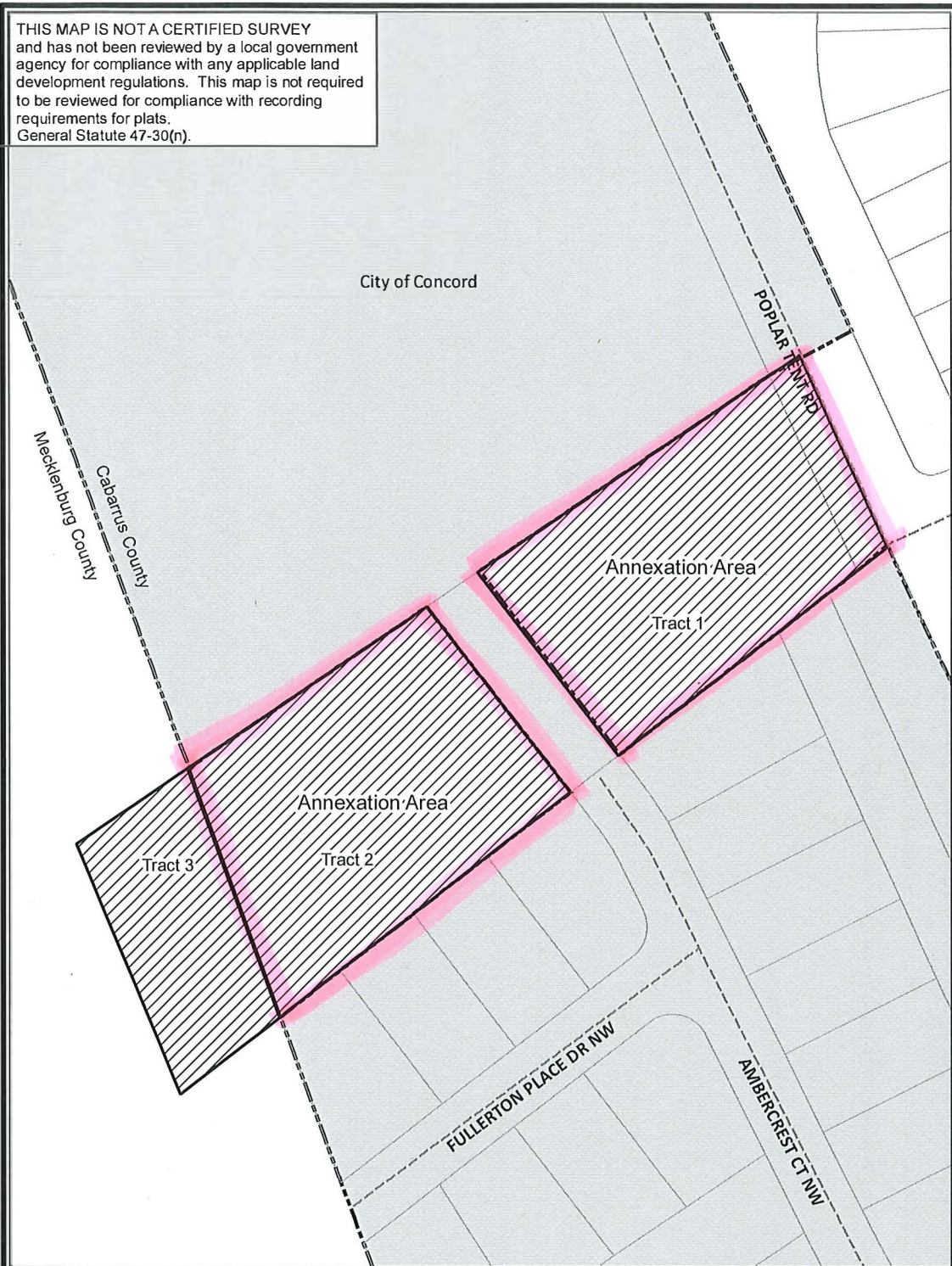
All that parcel of land, situated, lying and being in the Mecklenburg County of North Carolina, is particularly described as follows:

Commencing at the POINT OF BEGINNING) a found rebar, being further located at the South-Eastern corner of a tract of land owned Now or Formerly by Skybrook LLC, as shown in Deed Book 7075, page 32 of the Cabarrus County Register of Deeds, also being located 30.31' distant of the centerline of Poplar Tent Road (SR #2424), thence from the Point of Beginning N55-58-03E 30.31' to a point at the centerline of Poplar Tent Road (SR #2424), thence along the centerline of Poplar Tent Road S24-44-33E 170.15' to a point on the centerline of Poplar Tent Road S52-20-48W 274.60' (passing through a found angle iron 10' from the found rebar, the southeast corner of Ambercrest Court NW, the Larry E. Stinson and Myra A. Stinson property previously annexed into the City of Concord , Thence S52-20-48W 297.02' to a point on the Cabarrus County Mecklenburg County line, the POINT OF BEGINNING.

Thence with the southern line of the Larry E. Stinson and Myra A. Stinson property S52-20-48W 101.69' to rebar found, the southern corner of the Larry E. Stinson and Myra A. Stinson property ; Thence with the western line of the Larry E. Stinson and Myra A. Stinson property S2-46-54W 217.78' to a bolt found, the northwest corner of the Larry E. Stinson and Myra A. Stinson property; Thence with the northern line of the Larry E. Stinson and Myra A. Stinson property S52-20-48W 109.86' to a point on the Cabarrus County Mecklenburg County line; Thence with the Cabarrus County Mecklenburg County line S20-14-52E 109.86' to a point on the Cabarrus County Mecklenburg County line at the southern line of the Larry E. Stinson and Myra A. Stinson property, the Point of Beginning.

Being Tract 3 and containing 0.507 acres in Mecklenburg County

THIS MAP IS NOT A CERTIFIED SURVEY and has not been reviewed by a local government agency for compliance with any applicable land development regulations. This map is not required to be reviewed for compliance with recording requirements for plats. General Statute 47-30(n).



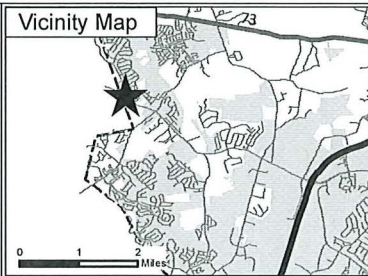
Map of Proposed Annexation Area City of Concord, NC Skybrook Corners Expansion

Legend

- Annexation Area
- Street Centerline
- Parcel Boundaries
- City of Concord



Petitioned by: Skybrook, LLC
 Location: Ambercrest Ct NW
 Parcel ID: 4671-73-1211
 Acreage: 2.894 acres
 Effective:
 Ordinance #:
 Ordinance Adopted:



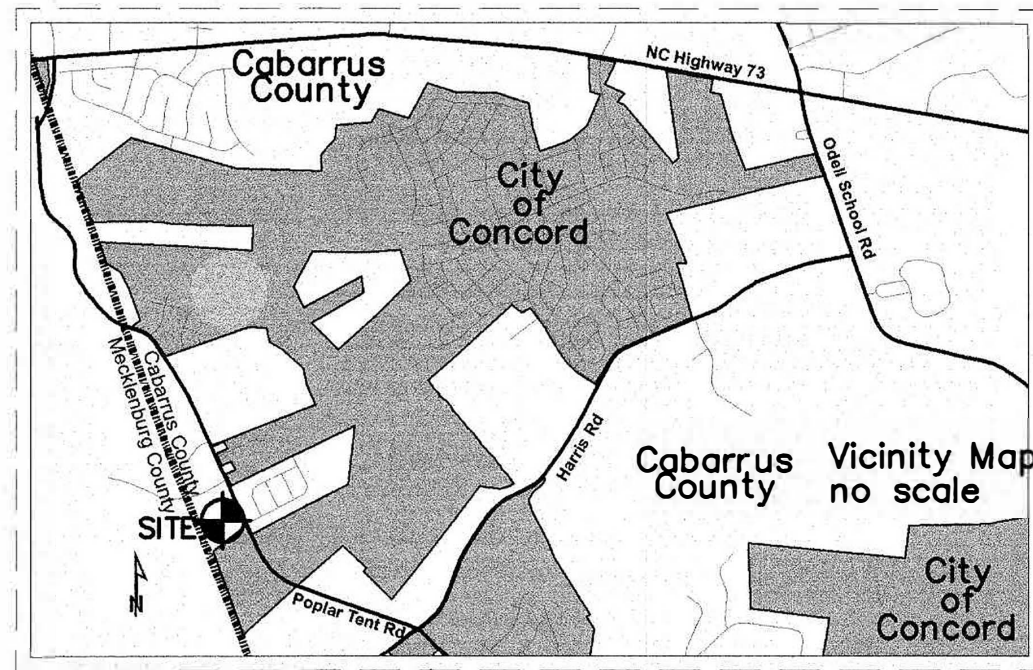
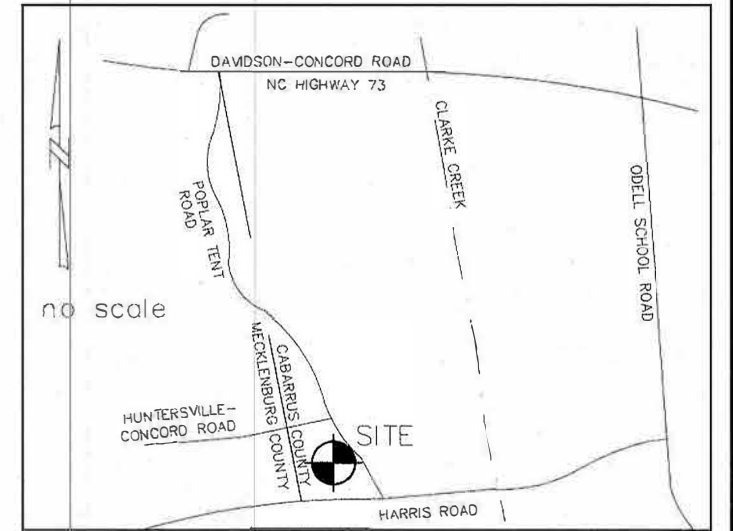
1 inch = 100 feet

Coordinate System: NAD 1983 State Plane NC FIPS 3200

Map prepared by City of Concord
 Planning & Neighborhood Development Department

Exhibit B

BEARINGS BASED ON
NC GRID (NAD 83)

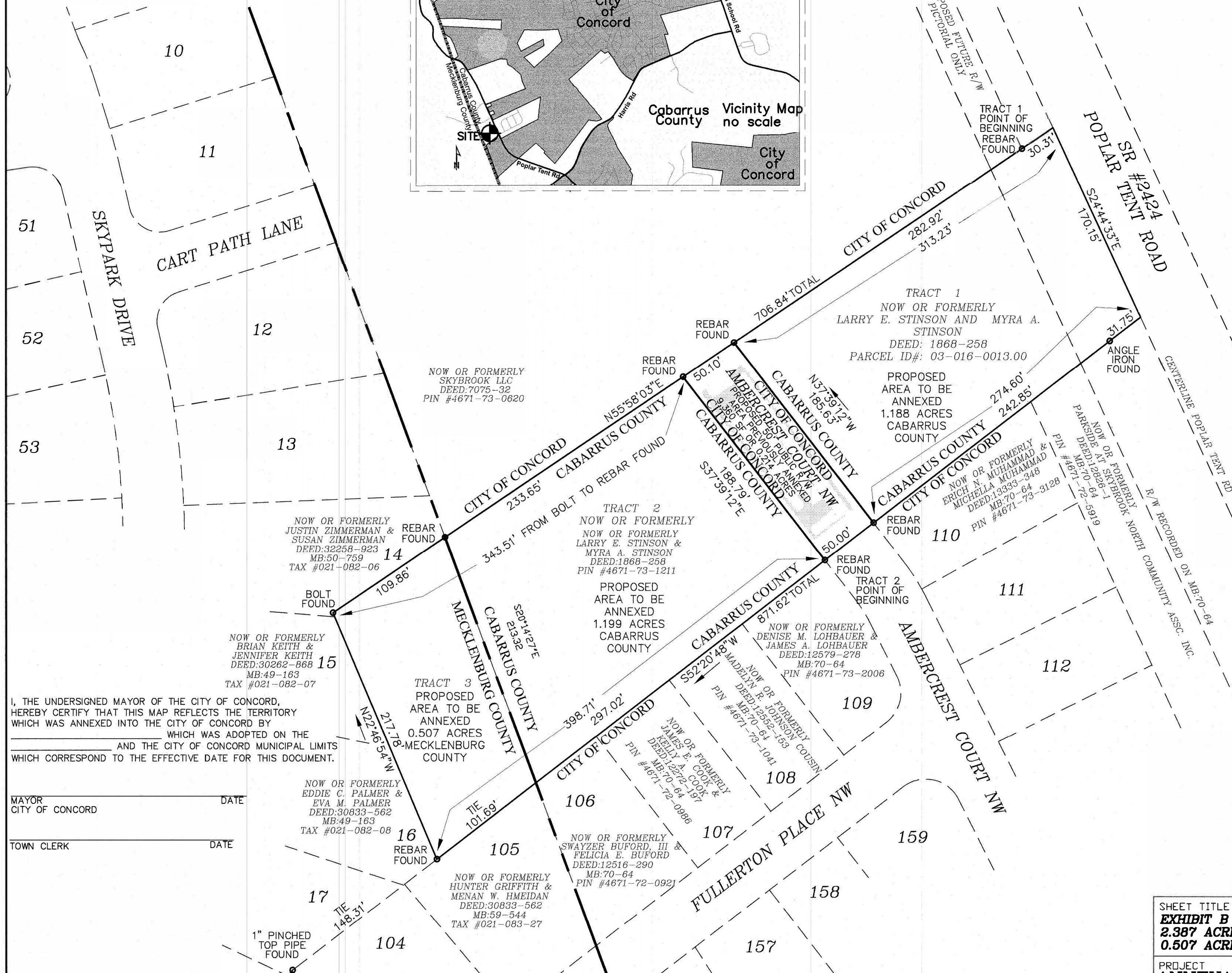
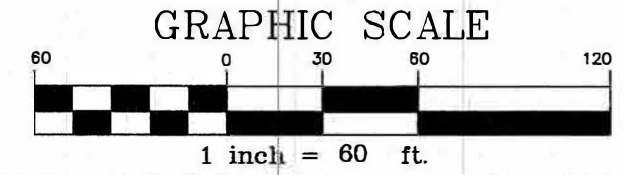
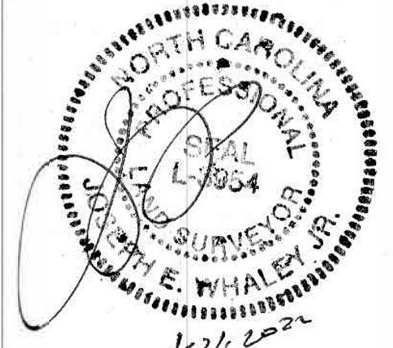


MOORCREST SUBDIVISION
MB:44-6, MB:44-67, MB:44-97, MB:45-92, MB:45-35

NOTES
THIS PROPERTY IS SUBJECT TO ALL OTHER RIGHTS-OF-WAY AND EASEMENTS OF RECORD NOT OBSERVED IN THE FIELD WHICH WOULD BE DISCLOSED BY A FULL TITLE SEARCH.
THIS MAP IS NOT INTENDED TO MEET GS 47-30 REQUIREMENTS. THIS SURVEY WAS PREPARED PER THE STANDARDS OF PRACTICE FOR LAND SURVEYORS IN NORTH CAROLINA WITH AN ERROR OF CLOSURE IN EXCESS OF 1:10,000.
MECKLENBURG COUNTY & CABARRUS COUNTY LINE AS SHOWN PER RESOLUTION 2002-42 BY THE CABARRUS COUNTY BOARD OF COMMISSIONERS RESOLVING THE MECKLENBURG COUNTY, MECKLENBURG COUNTY LINE LOCATION.
DISTANCES SHOWN ARE GROUND DISTANCES. TO CONVERT TO GRID DISTANCES APPLY THE COMBINED GRID FACTOR OF 0.99984901.
THE PROPERTY IN CABARRUS COUNTY LIES WITHIN THE CITY OF CONCORD E.T.J.

PROPERTY CORNERS IDENTIFIED WERE LOCATED BY ACTUAL FIELD SURVEY. ALL DISTANCES ARE HORIZONTAL DISTANCES UNLESS OTHERWISE NOTED.
I, JOSEPH E. WHALEY JR., STATE THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY MADE BY YARBROUGH-WILLIAMS & HOULE, INC.
ALL BEARINGS AND DISTANCES ARE ON 50' RIGHT OF WAY LINE.

LEGEND.....
MB: - MAP BOOK
PL - PROPERTY LINE
R/W - RIGHT-OF-WAY



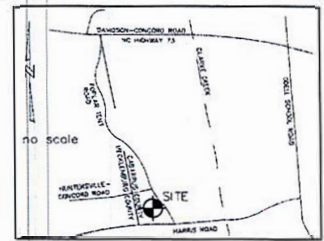
I, THE UNDERSIGNED MAYOR OF THE CITY OF CONCORD, HEREBY CERTIFY THAT THIS MAP REFLECTS THE TERRITORY WHICH WAS ANNEXED INTO THE CITY OF CONCORD BY _____ WHICH WAS ADOPTED ON THE _____ AND THE CITY OF CONCORD MUNICIPAL LIMITS WHICH CORRESPOND TO THE EFFECTIVE DATE FOR THIS DOCUMENT.

MAYOR _____ DATE _____
CITY OF CONCORD
TOWN CLERK _____ DATE _____

SHEET TITLE EXHIBIT B - ANNEXATION PLAT - 2.894 ACRE TOTAL 2.387 ACRES IN CABARRUS COUNTY 0.507 ACRES IN MECKLENBURG COUNTY		PROJECT NO.
PROJECT ANNEXATION PLAT TOWNSHIP #3, CABARRUS COUNTY, N.C. OWNER: LARRY E. & MYRA A. STINSON DEED:1868-258		SCALE 1"=60'
OWNER: LARRY E. & MYRA A. STINSON DEED:1868-258		DATE 01/04/2022
DRAWN BY YWH		CHECKED BY SFV
ZONED		DRAWING NO.
		SHT 1 OF 1 SHTS

Exhibit B

BEARINGS BASED ON NC GRID (NAD 83)

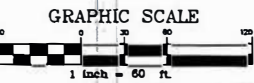


MOORCREST SUBDIVISION
 MB-44-6, MB-44-87, MB-44-97, MB-45-92, MB-45-35

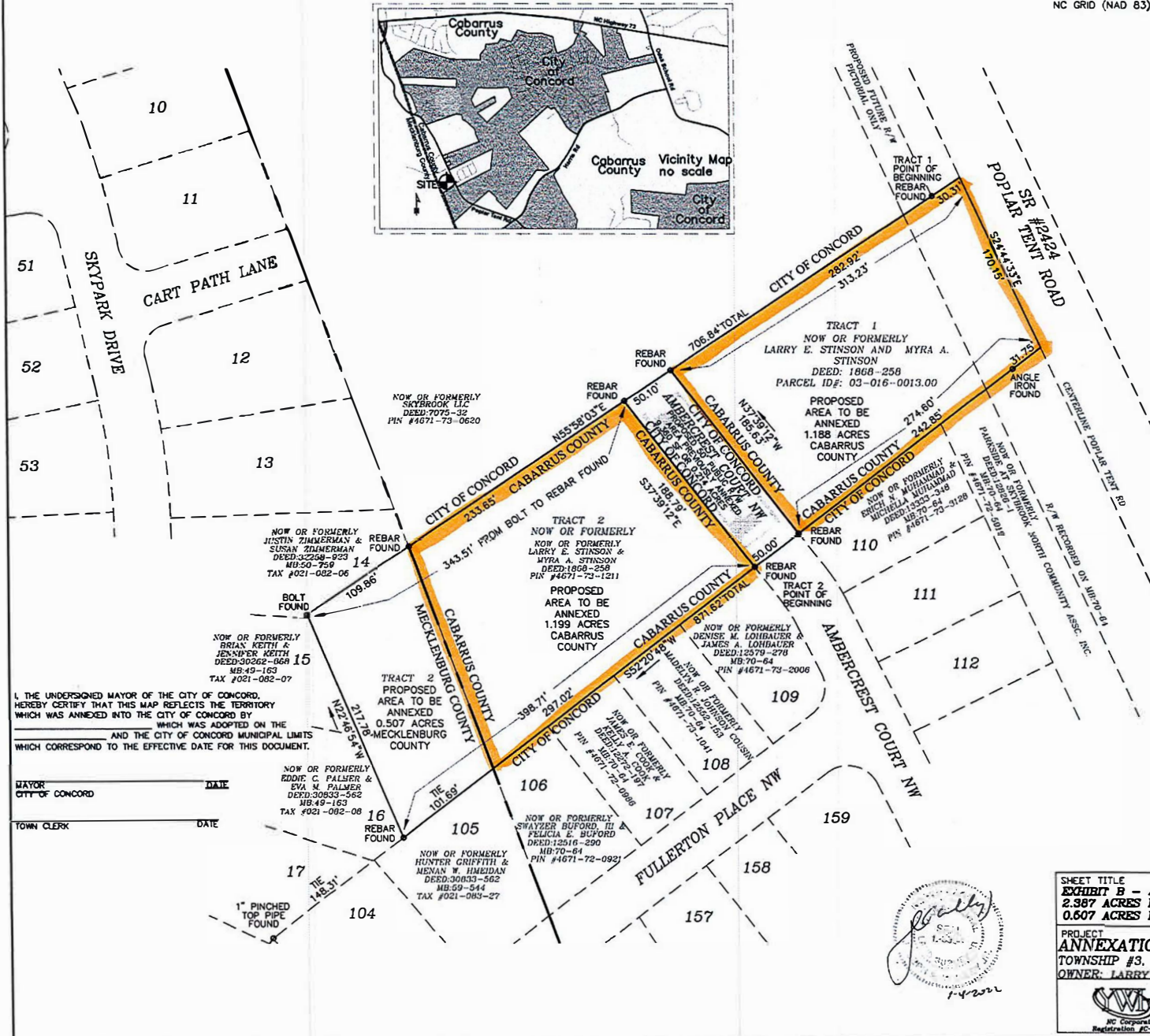
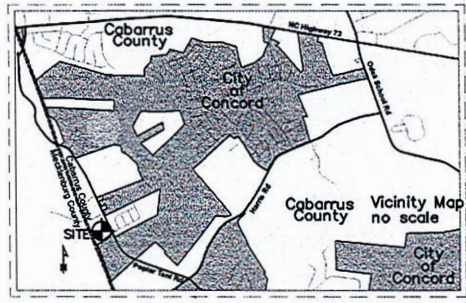
NOTES
 THIS PROPERTY IS SUBJECT TO ALL OTHER RIGHTS-OF-WAY AND EASEMENTS OF RECORD NOT OBSERVED IN THE FIELD WHICH WOULD BE DISCLOSED BY A FULL TITLE SEARCH.
 THIS MAP IS NOT INTENDED TO MEET GS 47-30 REQUIREMENTS. THIS SURVEY WAS PREPARED PER THE STANDARDS OF PRACTICE FOR LAND SURVEYORS IN NORTH CAROLINA WITH AN ERROR OF CLOSURE IN EXCESS OF 1:10,000.
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 I, JOSEPH E. WHALEY JR., STATE THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY MADE BY YARBROUGH-WILLIAMS & HOULE, INC.
 ALL BEARINGS AND DISTANCES ARE ON 50' RIGHT OF WAY LINE.

LEGEND
 MR - MAP BOOK
 PL - PROPERTY LINE
 R/W - RIGHT-OF-WAY



SHEET TITLE EXHIBIT B - ANNEXATION PLAT - 2.894 ACRE TOTAL		PROJECT NO.
2.387 ACRES IN CABARRUS COUNTY		SCALE
0.607 ACRES IN MECKLENBURG COUNTY		DATE
PROJECT ANNEXATION PLAT		DATE
TOWNSHIP #3, CABARRUS COUNTY, N.C.		BY
OWNER: LARRY E. & MYRA A. STINSON DEED:1868-258		CHECKED BY
YARBROUGH-WILLIAMS & HOULE, Inc. Planning • Surveying • Engineering		DATE
100 Bankers Oak Court Charlotte, North Carolina, 28273 704.684.1900 704.684.0005(jeh)		BY
P.O. Box 1196 Florence, North Carolina, 28534		DATE
INCORPORATED Registration #C-24275		DATE



I, THE UNDERSIGNED MAYOR OF THE CITY OF CONCORD, HEREBY CERTIFY THAT THIS MAP REFLECTS THE TERRITORY WHICH WAS ANNEXED INTO THE CITY OF CONCORD BY _____ AND THE CITY OF CONCORD MUNICIPAL LIMITS WHICH CORRESPOND TO THE EFFECTIVE DATE FOR THIS DOCUMENT.

MAYOR _____ DATE _____
 TOWN CLERK _____ DATE _____



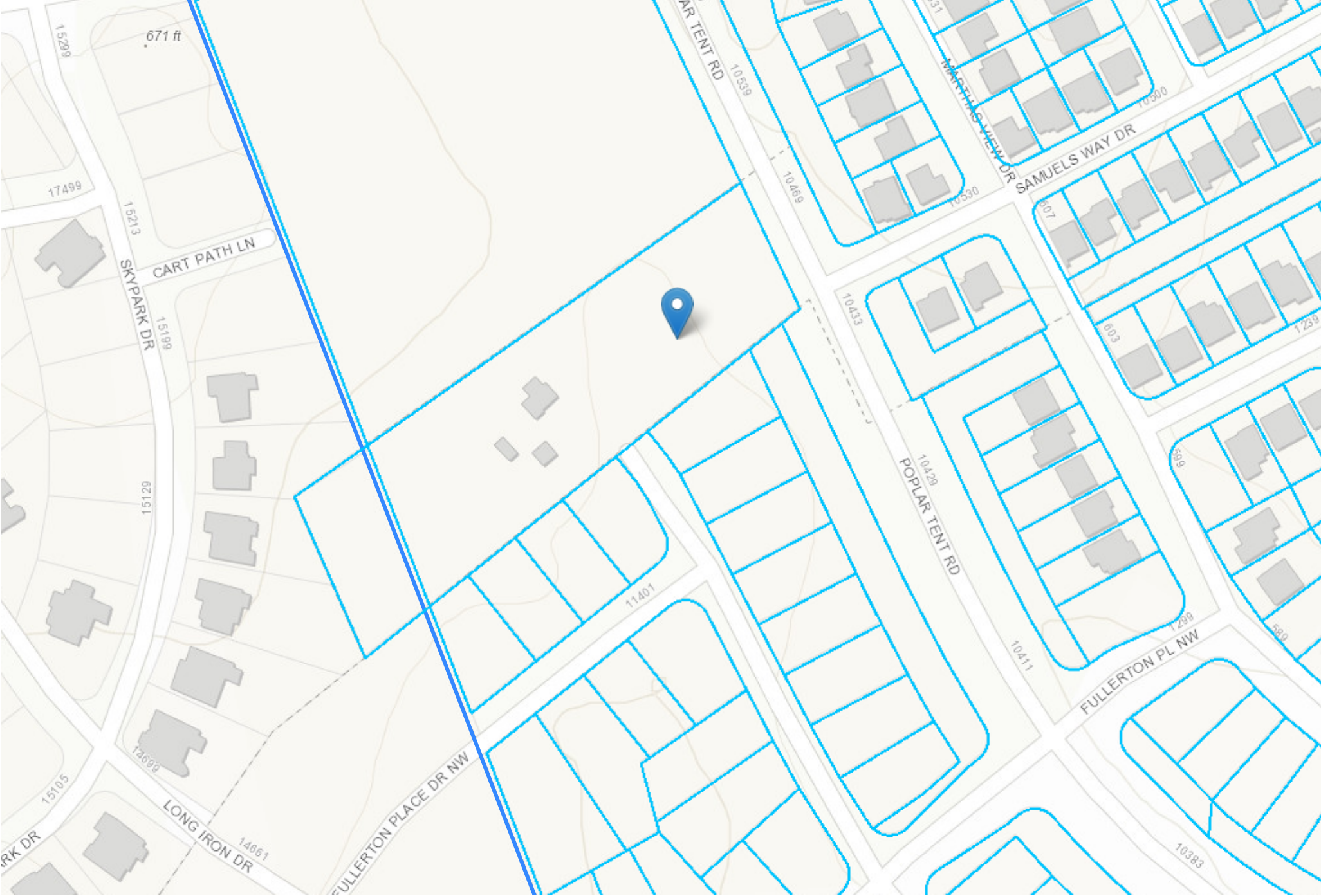


EXHIBIT C

Cabarrus County shall not be held liable for any errors in the data represented on this record. This includes errors of omission, commission, concerning the content of the data, and relative positional accuracy of the data. The data cannot be construed to be a legal document. Primary sources from which this data was compiled must be consulted for verification of information represented on this map document.

Physical Address:	10515 POPLAR TENT RD HUNTERSVILLE NC 28078,10435 POPLAR TENT RD HUNTERSVILLE NC 28078	PIN14:	46717312110000
Account Name 1:	STINSON LARRY E	Account Name 2:	STINSON MYRA A WF
Mailing Address:	10653 POPLAR TENT RD	Mailing City:	HUNTERSVILLE
Mailing State:	NC	Mailing Zip Code:	28078
Property Real ID:	03-016 -0013.00	Plat Book:	00000
Plat Page:	00000	Land Units:	3.11
Units Type:	AC	Land Value:	AC
Building Value:	29410	OBXF Value:	3360
Assessed Value:	189080	Market Value:	189080
Sale Year:	1997	Sale Month:	5
Sale Price:	50000	Deed Book:	1868
Deed Page:	0258	Fire District:	Odell
Zoning:	LDR	Elementary School:	W R Odell ES
Middle School:	Harris Rd MS	High School:	Cox Mill HS
Precinct Name:	undefined	Legal Description:	WEST SIDE POPLAR TENT RD
Floodway:	No	100 Yr Flood:	No
500 Yr Flood:	No	Watershed	undefined
FIRM Panel Number	4671		

FILED	Jan 14, 2022
AT	10:51:00 AM
BOOK	15788
START PAGE	0099
END PAGE	0102
INSTRUMENT #	01689
EXCISE TAX	\$500.00

NORTH CAROLINA SPECIAL WARRANTY DEED

Excise Tax: **\$500.00**

Parcel Identifier Number: 46717312110000 (Cabarrus Co.) [no PID for Meck. Co. portion]

Mail/Box to: Grantee

This instrument was prepared by: Russel S. Woodward, Esq., Woodward & Woodward PLLC

Brief description for the Index: 10515 Poplar Tent Rd. Huntersville NC 28078

THIS DEED made this 13 day of January 2022, by and between

Grantor

Grantee

Larry E. Stinson, widower

Skybrook, LLC

a North Carolina limited liability company

10653 Poplar Tent Road Drive
Huntersville NC 28078

6719-C Fairview Road
Charlotte NC 28210

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Charlotte, Mecklenburg County, North Carolina and more particularly described as follows:

Please see Exhibit A.

The property hereinabove described was acquired by Grantor by instruments recorded in Book 1868, Page 2581.

All or a portion of the property herein conveyed does not include the primary residence of a Grantor.

The Power of Attorney referenced herein was recorded in the Register of Deeds for Cabarrus County on January 12 2002 in Book 215 Page 119 of said registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received, and Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor, other than the exceptions set forth herein.

Title to the Property is subject to the following exceptions: (i) the lien of real estate taxes, taxes imposed by special assessment and other public charges which are not yet due and payable, (ii) all applicable laws (including zoning, building ordinances and land use regulations), (iii) all easements, restrictions, covenants, agreements, conditions, or other matters of record, (iv) and any matters which would be revealed by an accurate survey.

[Signature page follows.]

IN WITNESS WHEREOF, Grantor has duly executed the foregoing as of the day and year first above written.

Larry E. Stinson
Larry E. Stinson

By: Jamichael Danyelle Stinson
Jamichael Danyelle Stinson, as Attorney-In-Fact

STATE OF NORTH CAROLINA

COUNTY OF Mecklenburg

I, the undersigned, a Notary Public in and for said County, in said State, hereby certify that Jamichael Danyelle Stinson, as Attorney-In-Fact for Larry E. Stinson, personally and voluntarily appeared before me this day and acknowledged that he executed the foregoing instrument in the capacity indicated.

Witness my hand and official seal, this the 12 day of January 2022.

Jasmine Campbell
Notary Public

Name typed/printed: Jasmine Campbell

My Commission Expires: 4/9/2023

[INK SEAL]

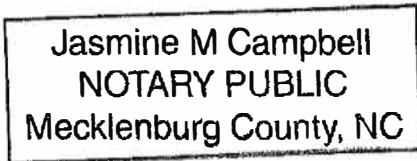


EXHIBIT A

Legal Description

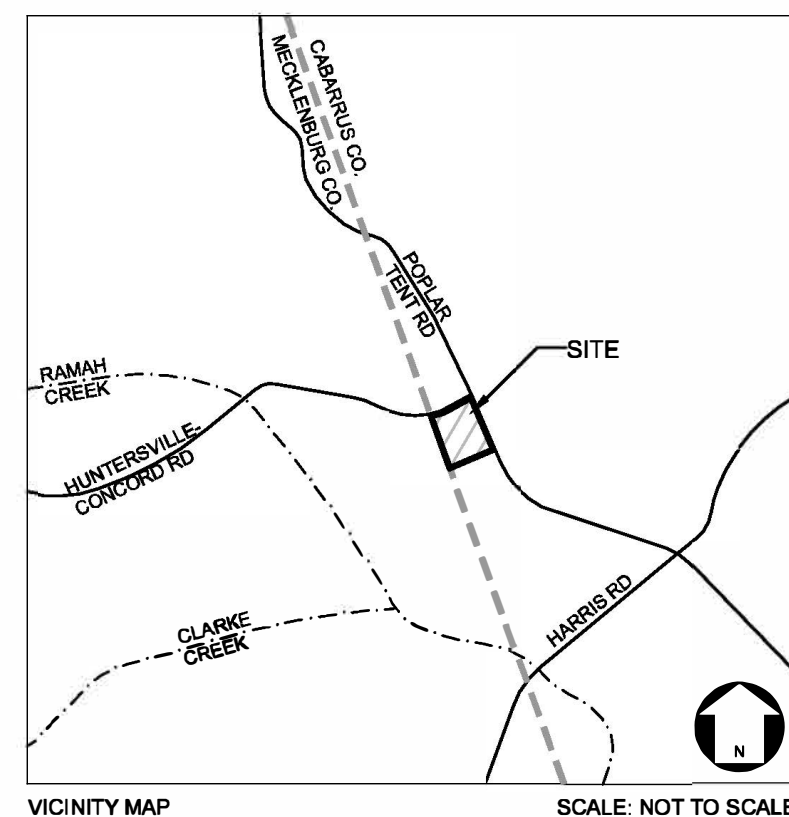
LYING AND BEING IN NO. 3 TOWNSHIP, CABARRUS COUNTY, NORTH CAROLINA, ON THE WEST SIDE OF POPLAR TENT ROAD, ADJOINING THE PROPERTY OF J. WOODLEY WALLACE (DEED BOOK 3840, PAGE 445, MECKLENBURG COUNTY REGISTRY) AND JAMES R. MCDONALD (DEED BOOK 728, PAGE 1, CABARRUS COUNTY REGISTRY) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NEW P. K. NAIL IN THE CENTER OF POPLAR TENT ROAD, CORNER OF JAMES R. MCDONALD; AND RUNS THENCE WITH THE LINE OF MCDONALD, SOUTH 48-23-57 WEST (PASSING AN EXISTING IRON PIPE ON LINE AT 31.31 FEET) 722.59 FEET TO AN EXISTING IRON PIPE, CORNER OF WALLACE; THENCE TWO LINES OF WALLACE AS FOLLOWS: 1ST, NORTH 26-43-24 WEST (PASSING A 2-INCH IRON ROD ON LINE AT 1.30 FEET) 217.80 FEET TO AN EXISTING 3/4-INCH BOLT WITH SQUARE NUT AT TOP; AND 2ND, NORTH 52-01-12 EAST (PASSING AN EXISTING IRON PIN ON LINE AT 676.46 FEET) 706.58 FEET TO A P. K. NAIL IN THE CENTER OF POPLAR TENT ROAD; THENCE WITH THE CENTER OF THE ROAD, SOUTH 28-30-10 EAST 170.31 FEET TO THE BEGINNING, CONTAINING 3.108 ACRES AS SURVEYED BY MARION L. SANDLIN, JR., REGISTERED LAND SURVEYOR, MARCH 10, 1997, AND SUBJECT TO THE RIGHT OF WAY OF POPLAR TENT ROAD AS SHOWN ON SAID PLAT.

Address: 10515 Poplar Tent Road, Huntersville, Cabarrus County, North Carolina, 28078

Parcel No.: 4671731211

BROOKVUE HOMEOWNERS ASSN INC	C/O CUSICK COMMUNITY MGMT LLC	8008 CORPORATE CENTER DR STE 100	CHARLOTTE	NC	28226
FULLERTON PLACE HOA		PO BOX 481349	CHARLOTTE	NC	28269
HARRIS CYTERIA APRIL		17615 HUNTERESVILLE CONCORD RD	HUNTERSVILLE	NC	28078
MOORECREST HOA	C/O SUPERIOR ASSOC MANAGEMENT	P O BOX 2427	HUNTERSVILLE	NC	28070
PARKSIDE AT SKYBROOK NORTH COMM ASSC INC		6719 FAIRVIEW RD STE C	CHARLOTTE	NC	28210
SAAD INTERNATIONAL LLC		11232 WALLAND LN	CHARLOTTE	NC	28273
SKYBROOK LLC		PO BOX 38	HOLLY SPRINGS	NC	27540
STINSON LARRY E	STINSON MYRA A WF	10653 POPLAR TENT RD	HUNTERSVILLE	NC	28078
VILLAGES AT SKYBROOK NORTH	COMMUNITY ASSOCIATION INC	6719C FAIRVIEW RD	CHARLOTTE	NC	28210
FABIO DIAS		15126 SKYPARK DR	HUNTERSVILLE	NC	28078
ANGELA L CAMPBELL		15210 SKYPARK DR	HUNTERSVILLE	NC	28078
MICHAEL JAMES COSTELLO		15138 SKYPARK DR	HUNTERSVILLE	NC	28078
TYRONE A SR LEACOCK		15132 SKYPARK DR	HUNTERSVILLE	NC	28078
HUNTER GRIFFITH		11413 FULLERTON PLACE DR	HUNTERSVILLE	NC	28078
BRADLEY E FRAZEE		15204 SKYPARK DR	HUNTERSVILLE	NC	28078
BRIAN KEITH		15120 SKYPARK DR	HUNTERSVILLE	NC	28078
SKYBROOK HOMEOWNERS ASSOCIATION INC		830 SKYBROOK DR	HUNTERSVILLE	NC	28078
HOLLY BUCKHALT LYNDON		15216 SKYPARK DR	HUNTERSVILLE	NC	28078
EDDIE C PALMER		15114 SYKPARK DR	HUNTERSVILLE	NC	28078
SREEDHAR PANDELLAPALLI	BROOKVUE PRESIDENT	1353 SANDY BOTTOM DR NW	CONCORD	NC	28027
SCOTT MOORE	VILLAGES AT SKYBROOK NORTH	10902 RIVER OAKS DR NW	CONCORD	NC	28027



BOTH NEIGHBORHOOD CONNECTIONS NEED TO BE IN PLACE PRIOR TO VERTICAL CONSTRUCTION OR ALL UNITS SHALL BE SPRINKLED

PROPOSED 7' SIDE YARD SETBACK

PROPOSED 5' REAR YARD SETBACK

PROPOSED 5' REAR YARD SETBACK

PROPOSED 5' REAR YARD SETBACK

PROPOSED 5' REAR YARD SETBACK

PROPOSED 5' REAR YARD SETBACK

PROPOSED 5' REAR YARD SETBACK

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PROPOSED 5' REAR YARD SETBACK

HOLLY LYONDEED
DEED BOOK: 34312-722
PARCEL ID: 02108201
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

ANGELA & CLAY CAMPBELL
DEED BOOK: 30175-741
PARCEL ID: 02108202
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

BRADLEY & GERALDINE FRAZEE
DEED BOOK: 30487-394
PARCEL ID: 02108203
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

MICHAEL & LESLIE COSTELLO
DEED BOOK: 27517-851
PARCEL ID: 02108204
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

TYRONE A SR & ANDREA LEACOCK
DEED BOOK: 28014-598
PARCEL ID: 02108205
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

FABIO & MICHELLE DIAS
DEED BOOK: 34577-393
PARCEL ID: 02108206
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

BRIAN & JENNIFER KEITH
DEED BOOK: 30282-888
PARCEL ID: 02108207
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

EDDIE & EVA PALMER
DEED BOOK: 30833-582
PARCEL ID: 02108208
ZONING: R
USE: SINGLE FAMILY RESIDENTIAL

WILLIAM & PORTIA HALL
DEED BOOK: 33770-687
PARCEL ID: 02108327
ZONING: TR(CD)
USE: SINGLE FAMILY RESIDENTIAL

HUNTER GRIFFITH & MENANWASEEM HMEIDAN
DEED BOOK: 38770-687
PARCEL ID: 02108327
ZONING: TR(CD)
USE: SINGLE FAMILY RESIDENTIAL

SWAYZER & FELICIA BUFORD
DEED BOOK: 12516-290
PARCEL ID: 46717209210000
ZONING: CURV
USE: SINGLE FAMILY RESIDENTIAL

JAMES & KELLY COOK
DEED BOOK: 12272-197
PARCEL ID: 46717209210000
ZONING: CURV
USE: SINGLE FAMILY RESIDENTIAL

MADELYN JOHNSON COUSIN
DEED BOOK: 12562-153
PARCEL ID: 46717310410000
ZONING: CURV
USE: SINGLE FAMILY RESIDENTIAL

BILAL KHAN
DEED BOOK: 14940-0312
PARCEL ID: 46717320000000
ZONING: CURV
USE: SINGLE FAMILY RESIDENTIAL

APRIL HARRIS
DEED BOOK: 12833-0296
PARCEL ID: 4671689710000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

SAAD INTERNATIONAL
DEED BOOK: 14714-0183
PARCEL ID: 4671689740000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

BROOKVIEW HOMEOWNERS ASSC INC
DEED BOOK: 15125-0247
PARCEL ID: 46717440230000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

MOORECREST HOMEOWNERS ASSC INC
DEED BOOK: 7815-0285
PARCEL ID: 46717362580000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

SITE PREVIOUSLY SUBMITTED, REVIEWED, AND APPROVED FOR 52 TOWNHOMES

DANIELLE & ALEXIE ALCIDE
DEED BOOK: 12573-0087
PARCEL ID: 46717347330000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

PAT & SOMPHONE CHANSOURNONG
DEED BOOK: 12399-0104
PARCEL ID: 46717346770000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

RICHARDSON WAYNE T II
DEED BOOK: 13008-0259
PARCEL ID: 46717346920000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

CRAIG YOUNG & LATOYA BROWN
DEED BOOK: 14093-0129
PARCEL ID: 46717355180000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

SFR JV-1 PROPERTY LLC
DEED BOOK: 13213-0179
PARCEL ID: 46717355330000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

AMH 2015-1 BORROWER LLC
DEED BOOK: 11322-0288
PARCEL ID: 46717354360000
ZONING: LDR
USE: SINGLE FAMILY RESIDENTIAL

ERICH & MICHEALLA MUHAMMAD
DEED BOOK: 13333-348
PARCEL ID: 46717331280000
ZONING: CURV
USE: SINGLE FAMILY RESIDENTIAL

DEVRAJ & ANITA ARYAL
DEED BOOK: 12844-057
PARCEL ID: 46717331510000
ZONING: CURV
USE: SINGLE FAMILY RESIDENTIAL

NEW ACREAGE (STINSON PROPERTY) AND UNITS TO BE ADDED TO DEVELOPMENT (UNITS 55-61, 65-71)

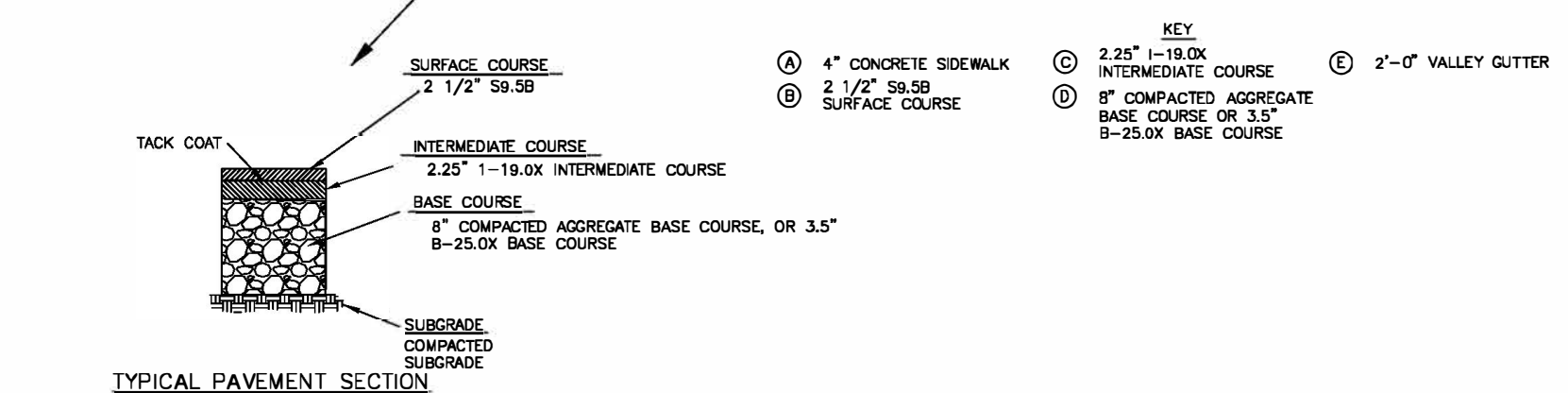
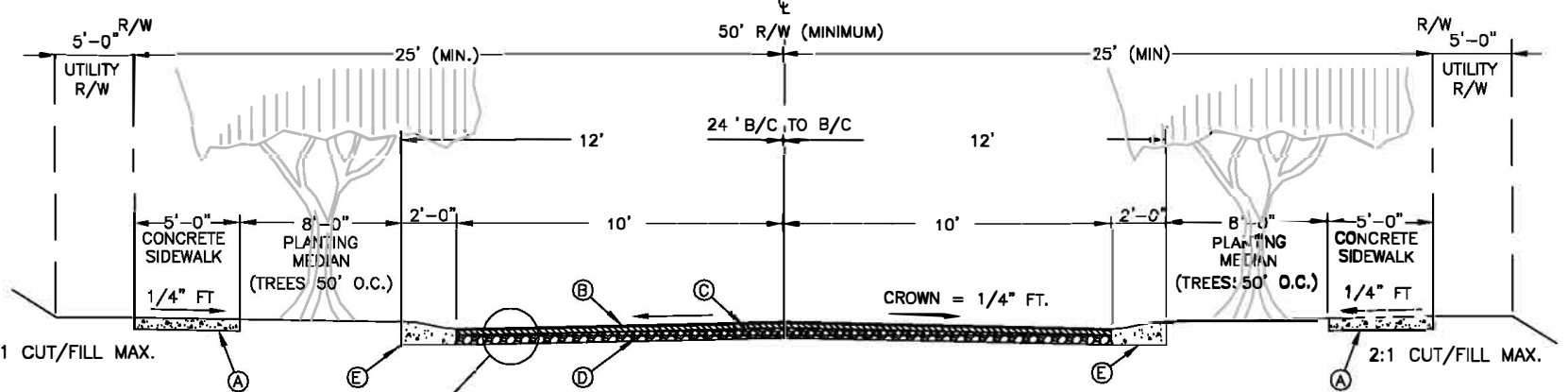
ORIGINAL SITE DATA (per approved construction drawings) (Units 1 - 52)

PIN:	#467173-0620 7075-0032
JURISDICTION:	CITY OF CONCORD
SITE AREA:	7.38 AC (320,783.07 SF) (GROSS)
FINAL PLAT DATE:	2021
CODE REQUIREMENTS (City of Concord Land Development Code):	
EXISTING ZONING:	RV-CO
EXISTING USE:	VACANT
PROPOSED USE:	TOWNHOMES
EXISTING WATERSHED:	CLARKE
ALLOWABLE DENSITY:	8 DU/AC
PROPOSED DENSITY:	52 UNITS (7.07 DU)
MINIMUM LOT SIZE:	27 UNITS - 22' WIDE
MINIMUM LOT SIZE:	25 UNITS - 20' WIDE
PARKING REQUIRED:	75-130 SPACES (1.5 SPACES/UNIT MIN, 2.5 SPACES/UNIT MAX)
PARKING PROVIDED:	89 SPACES, 1.7 SPACES PER UNIT (GARAGE, DRIVEWAY, AND ON-STREET PARKING)
MINIMUM LOT SIZE:	7,500 SF
MIN. FRONT SETBACK:	24'
INTERIOR SIDE SETBACK (CORNER LOTS):	7'
REAR SETBACK:	10'
PERMETER BUFFER REQD:	25'
BLDG HEIGHT MAX. ALLOWED:	30'
BLDG HEIGHT MAX. PROVIDED:	30'-6" (2 STORIES)
MAX. BLDG. SQFT PROVIDED:	2570 SF
LINKS:	8
NODES:	1.5
LINK/NODE RATIO:	5.33
OPEN SPACE CALCULATIONS:	
OPEN SPACE REQUIRED:	12% REQUIRED (36,491.57 SF)
TOTAL OPEN SPACE PROVIDED:	127.4% PROVIDED (2,024,467.848 2 SF)
STREET LENGTH AT CENTERLINE:	
CEAR BRANCH PLACE:	372.1 F.
SCARLET FIRETHORN AVE:	227.1 F.
VIRGINIA PINE DRIVE:	240.1 F.
FOSTER HOLLY AVE:	186.1 F.
AMBERCREST COURT:	158.1 F.
TOTAL LENGTH AT CENTERLINE:	1,183.5 F.
ELECTRICAL PROVIDER:	DUKE ENERGY
ANTICIPATED FINAL PLAT:	2022

OVERALL SITE DATA (Units 1-66)

PIN:	#467173-0620 7075-0032 & 4671731210000
JURISDICTION:	CITY OF CONCORD, TOWN OF HUNTERVILLE, CABARRUS COUNTY
SITE AREA:	114.98 AC (495,968.08 SF) (GROSS)
FINAL PLAT DATE:	2022
CODE REQUIREMENTS (City of Concord Land Development Code):	
EXISTING ZONING:	RV-CO
EXISTING USE:	VACANT
PROPOSED USE:	TOWNHOMES
EXISTING WATERSHED:	CLARKE
ALLOWABLE DENSITY:	8 DU/AC
PROPOSED DENSITY:	66 UNITS (48.30 DU)
MINIMUM LOT SIZE:	37 UNITS - 22' WIDE
MINIMUM LOT SIZE:	29 UNITS - 20' WIDE
PARKING REQUIRED:	99-166 SPACES (1.5 SPACES/UNIT MIN, 2.5 SPACES/UNIT MAX)
PARKING PROVIDED:	144 SPACES, 2.18 SPACES PER UNIT (GARAGE, DRIVEWAY, AND ON-STREET PARKING)
MINIMUM LOT SIZE:	7,500 SF
MIN. FRONT SETBACK:	24'
INTERIOR SIDE SETBACK (CORNER LOTS):	7'
REAR SETBACK:	10'
PERMETER BUFFER REQD:	25'
BLDG HEIGHT MAX. ALLOWED:	30'
BLDG HEIGHT MAX. PROVIDED:	30'-6" (2 STORIES)
MAX. BLDG. SQFT PROVIDED:	2570 SF
LINKS:	12
NODES:	7
LINK/NODE RATIO:	1.71
OPEN SPACE CALCULATIONS:	
OPEN SPACE REQUIRED:	12% REQUIRED (454,718 SF)
TOTAL OPEN SPACE PROVIDED:	147.29% PROVIDED (4,956,410.468 AC)
STREET LENGTH AT CENTERLINE:	
CEAR BRANCH PLACE:	372.1 F.
SCARLET FIRETHORN AVE:	227.1 F.
VIRGINIA PINE DRIVE:	240.1 F.
FOSTER HOLLY AVE:	186.1 F.
AMBERCREST COURT:	158.1 F.
TOTAL LENGTH AT CENTERLINE:	1,183.5 F.
ELECTRICAL PROVIDER:	DUKE ENERGY
ANTICIPATED FINAL PLAT:	2022

Staff Note: Highlighted area is subject property for ANX-14-21(A). Surveyed property across County lines is subject to a separate annexation petition.



LEGEND

- PROPERTY LINE
- PROPOSED CURBING
- PROPOSED SETBACK
- PROPOSED RW LINE
- PROPOSED CENTERLINE
- PROPOSED SIDEWALK
- PROPOSED OPEN SPACE
- EXISTING EASEMENT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED UTILITY EASEMENT
- EXISTING CONTOUR LINE
- PROPOSED UTILITY EASEMENT
- EXISTING COUNTY LINE
- CONSTRUCTION LIMITS
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED FIRE HYDRANT

This Plan Is A Preliminary Design. NOT Released For Construction.



REVISIONS:				
No.	Date	By	Description	

Meeting Date

February 10th, 2022

Annexation Staff Report

The subject request is a voluntary annexation petition for +/- 2.387 acres of property located at 10515 and p/o 10435 Poplar Tent Rd, owned by Skybrook, LLC. A map has been provided depicting the property's location.

The site in question is part of a larger overall parcel that has been bisected by Ambercrest Ct. and is also split by the Cabarrus/Mecklenburg County lines. In November of 2020, +/- .214 acres of the parcel was annexed into the City limits to allow for a 50ft street wide right-of-way extending from Ambercrest Ct. in the Parkside neighborhood to the south to the proposed Skybrook Corners townhome neighborhood to the north. The second phase of this request (ANX-14-21B), includes +/- .507 acres across the Mecklenburg County line, and within Huntersville's ETJ (Extraterritorial Jurisdiction). Due to the adopted annexation agreement between Huntersville and Concord, specific jurisdictional notification is required and therefore, the applicant has split the annexation request into two petitions for faster consideration of the property within Cabarrus.




According to the petitioner, the annexation request has been submitted for the purpose of connecting to City utilities and to include the properties as part of the Skybrook Corners townhome project to the north, currently under review. Should the subject property be annexed into the City limits, the petitioner intends to apply for the RV-CD (Residential Village Conditional District) zoning classification, which would permit townhomes by right. A draft site plan, included in Council's packet, has been submitted and is currently under review by City departments. It depicts a maximum of 11 townhome units on the Cabarrus side and 3 additional units in Mecklenburg County. It should be noted that the site plan is not under consideration during the annexation hearing. The site design is in draft form and still subject to change.

The subject properties are located within the Suburban Neighborhood Use Category of the 2030 Land Use Plan and the proposed zoning designation of RV-CD (Residential Village Conditional District) is considered a corresponding zoning classification to the Land Use Category.

As with all annexations, internal and external entities are notified and given the opportunity to provide comments or feedback on the petitioner's proposal prior to Council's consideration at the hearing. No substantial comments were returned. The developer also held a neighborhood meeting, notifying all adjacent property owners and Recognized Neighborhoods/Homeowners Associations within ½ mile.

Should Council decide to annex the subject property, in the upcoming months, the petitioner will proceed with the second phase of the annexation petition relative to the portion of the parcel in Mecklenburg County. Subsequently a rezoning request will be processed to the Planning and Zoning Commission.

Legend

-  Cabarrus Co.
-  Concord - zoomed in
-  Nearby Cities

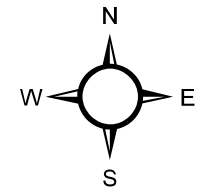


ANX-14-21

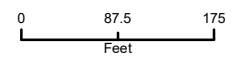
Stinson Property

**Skybrook Corners
Expansion**

**10515 & 10435
Poplar Tent
p/o PIN 4671731211**



Coordinate System - NC State Plane NAD83



Map Disclaimer
These maps and products are designed for general reference only, and data contained herein is subject to change. The City of Concord makes no warranty of merchantability or fitness for any purpose, express or implied, and assumes no legal responsibility for the information contained therein. Data used is from multiple sources - with various scales and accuracies. Additional research, such as field surveys, may be needed to determine actual conditions.

City of Concord, NC
Planning & Neighborhood Development Dept
Geographic Information Systems
July 2020



With developments added that are under construction (adding population at buildout)

	Population Current Districts	Difference from ideal	Population Proposal 1	Difference from ideal	Population Proposal 2	Difference from ideal	Population Proposal 3	Difference from ideal	Population Proposal 4	Difference from ideal
District 1	13,210	-3,060	13,547	-2,723	15,087	-1,183	14,663	-1,607	16,203	-67
District 2	17,847	1,577	17,510	1,240	15,970	-300	17,510	1,240	15,970	-300
District 3	15,999	-271	15,999	-271	15,999	-271	15,612	-658	15,612	-658
District 4	15,974	-296	16,953	683	16,953	683	15,597	-673	15,597	-673
District 5	19,215	2,945	17,451	1,181	17,451	1,181	16,962	692	16,962	692
District 6	14,771	-1,499	15,556	-714	15,556	-714	16,672	402	16,672	402
District 7	16,876	606	16,876	606	16,876	606	16,876	606	16,876	606

Total 113,892

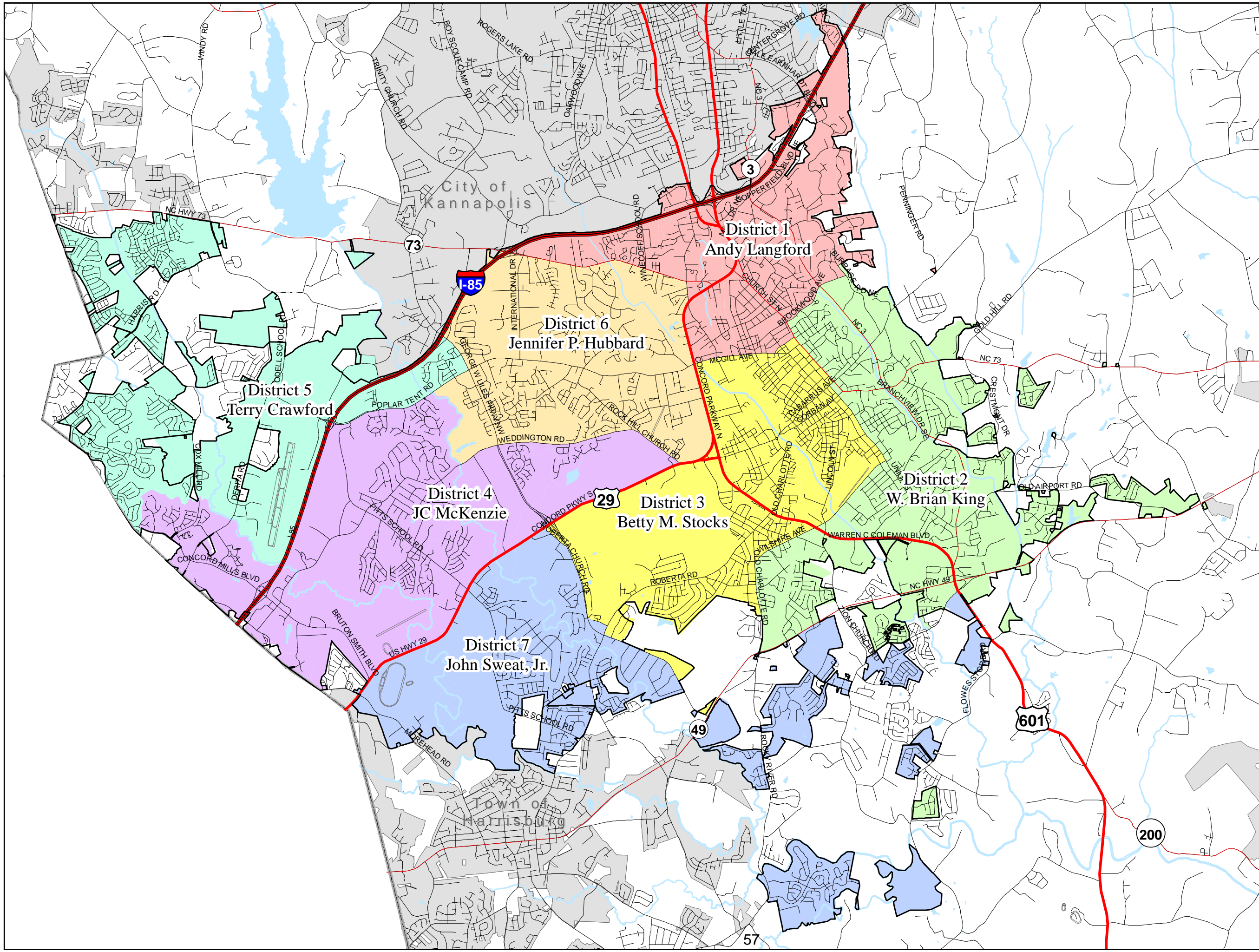
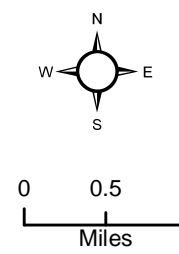
Ideal 16,270

Council Districts

EXISTING

Council Districts

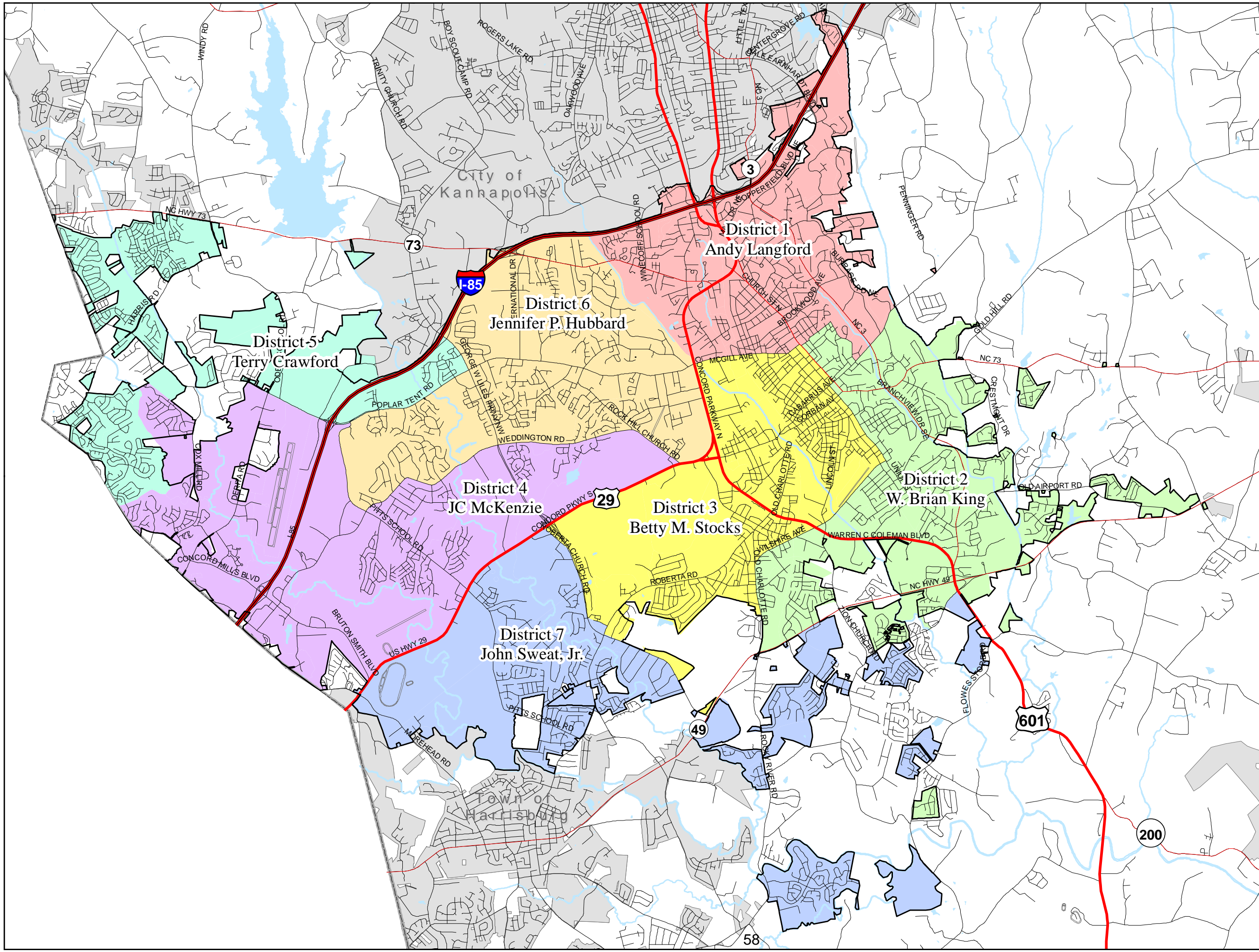
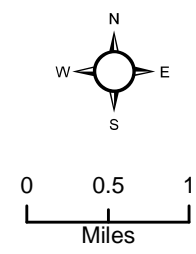
- District 1
- District 2
- District 3
- District 4
- District 5
- District 6
- District 7
- City of Concord
- Interstate
- US Highways
- NC Highways
- Cabarrus Co.
- Streets
- Lakes & Ponds
- Rivers
- Other Municipalities



Proposed New City Council Districts

Proposed Districts

- District 1
- District 2
- District 3
- District 4
- District 5
- District 6
- District 7
- City of Concord
- Interstate
- US Highways
- NC Highways
- Cabarrus Co.
- Streets
- Lakes & Ponds
- Rivers
- Other Municipalities



RESOLUTION AMENDING THE COUNCIL ELECTORAL DISTRICTS

WHEREAS, North Carolina General Statute § 160A-23 authorizes cities to revise electoral district boundaries from time to time: and

WHEREAS, after thorough study it has been recommended that Concord's electoral districts be reapportioned in order to correct population imbalances among the districts.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CONCORD, THAT:

1. A public hearing was held at the Council's regular meeting on February 10, 2022 to receive and consider public comments on said proposed district changes.
2. The City Council adopts the attached Map revising the seven electoral districts to attain parity in population. Such districts are to be used in all future elections until the districts may be amended as necessary and required by law.

Adopted this 10th day of February, 2022

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST:

Kim J. Deason, City Clerk

**City of Concord FY23 Benefits
Council Summary**

In FY22, the City offered a third medical benefits plan (Blue HPN Plan) which utilized a narrow High-Performance Network aligned with Atrium Health. The goal of the plan was to offer coworkers a lower contribution option for themselves and their dependents. 15% of Coworkers enrolled in this plan and 67% of them opted to cover dependents. This compares to 48% of coworkers who opted to cover dependents on the Basic Plan and 18% on the HRA Plan. In addition, the Blue HPN Plan is currently running 27.6% below what was projected.

While the FY22 medical benefits plans continue to run below budget, we do expect costs to be higher in the second half of FY22. As we look to FY23, Gallagher is projecting a 5.8% increase from the current medical budget, resulting in a net increase of 6.6% to the City. Coworker contributions will remain the same as current.

The FY23 medical budget projections are \$13,230,000 total cost, or \$11,753,200 net cost to the City.

Projections include:

- 5.7% Medical Trend
- 9% Rx Trend
- 4.7% contract size adjustment (more members covered now due to HPN plan)

There are no plan design changes recommended this year; however, two cost savings programs will be introduced:

- **Rx Savings Solutions** – a tool that analyzes pharmacy claim utilization, as well as all possible clinical and financial therapies to identify member savings opportunities. Members will receive a personalized email or text when a savings opportunity is found. Members can choose whether to take advantage of the savings opportunity.
- **Member Pay the Difference Penalty (MAC B)** – This penalty applies when a brand name drug is prescribed without Dispense as Written (DAW) and a generic equivalent is available. Members pay the generic or brand copay plus the cost difference between the generic and brand ingredient costs. 9 members will be impacted by this change.

OTHER BENEFITS

- Gallagher marketed the voluntary benefits currently administered by AllState. MetLife offered proposals that enhanced benefits for each plan and lowered costs to Coworkers in most cases. Recommendation is to move voluntary benefits to MetLife as well to benefit Coworkers.
- All other benefit providers will remain the same for FY23.
- Employer 401K contribution will increase to 4% for non-law enforcement coworkers. (Law Enforcement Officers have received a 5% 401K employer contribution since July 1, 1988 as per G.S. 143-166.50).
- Healthcare FSA maximum increase to \$2,850 to match the IRS limit.

	Semi-Monthly City Contribution		Semi-Monthly Coworker Contribution
NEW High Performance Plan (with \$25 semimonthly incentive)			
Coworker only	\$306.85		\$0.00
Coworker +Child(ren)	\$497.67		\$33.60
Coworker + Spouse	\$530.18		\$45.88
Coworker + Family	\$736.25		\$79.51
NEW High Performance Plan (without incentive)			
Coworker only	\$281.85		\$25.00
Coworker +Child(ren)	\$472.67		\$58.60
Coworker + Spouse	\$505.18		\$70.88
Coworker + Family	\$711.25		\$104.51
Basic Plan (with \$25 semimonthly incentive)			
Coworker only	\$334.08		\$5.99
Coworker +Child(ren)	\$501.18		\$93.94
Coworker + Spouse	\$534.03		\$112.10
Coworker + Family	\$741.88		\$176.31
Basic Plan (without incentive)			
Coworker only	\$309.08		\$30.99
Coworker + Child(ren)	\$476.18		\$118.94
Coworker + Spouse	\$509.03		\$137.10
Coworker + Family	\$716.88		\$201.31
HRA Plan (with \$25 semimonthly incentive)			
		Semi-Monthly HRA Fund (included in City contribution)	
Coworker only	\$353.61	\$20.83	\$14.06
Coworker + Child(ren)	\$481.25	\$41.67	\$167.13
Coworker + Spouse	\$504.09	\$41.67	\$196.47
Coworker + Family	\$619.49	\$41.67	\$359.32
HRA Plan (without incentive)			
Coworker only	\$328.61	\$20.83	\$39.06
Coworker + Child(ren)	\$456.25	\$41.67	\$192.13
Coworker + Spouse	\$479.09	\$41.67	\$221.47
Coworker + Family	\$594.49	\$41.67	\$384.32

**Cabarrus County Transportation Service & Concord Kannapolis Area Transit
On Call Transit Planning & Engineering Services
Benesch Team Rates**

STAFFING CATEGORY	BURDENED HOURLY RATES
Principal	\$285.00
Senior Project Manager	\$268.00
Project Manager	\$215.00
Senior Transit Specialist	\$226.00
Transit Specialist	\$177.00
ADA Specialist	\$150.00
Senior Planner	\$165.00
Project Planner	\$135.00
Planner	\$97.00
Planning Intern/GIS Technician	\$55.00
Senior Engineer	\$225.00
Engineer	\$180.00
Senior Architect	\$150.00
Architect	\$135.00
Senior Technology Specialist	\$225.00
Public Involvement Manager	\$177.00
Creative Director	\$150.00
Graphic Designer	\$125.00
Senior Outreach Specialist	\$150.00
Outreach Specialist	\$105.00
Copy Writer	\$130.00
Coordinator	\$90.00
Admin/Junior Coordinator	\$82.00

Staffing Category	Rate by Category
Project Principal	\$ 387.70
Project Manager	\$ 208.76
Senior Planner	\$ 199.81
Planner 3	\$ 161.04
Planner 2	\$ 131.22
Planner 1	\$ 101.40
Civil Engineer 3	\$ 229.64
Civil Engineer 1	\$ 104.38
Public Involvement Lead	\$ 164.03
Public Involvement Specialist 3	\$ 131.22
Communication and Engagement Advisor	\$ 125.00
Public Involvement Specialist 1	\$ 80.52
Graphic Designer 2	\$ 131.22
Graphic Designer 1	\$ 98.42
GIS Planning Lead	\$ 149.11
GIS Planner 1	\$ 74.56
Ridership Forecasting Lead	\$ 244.55
Ridership Forecasting 3	\$ 193.85
Senior Financial Analyst	\$ 408.57
HCT Technical Advisor	\$ 229.64
Senior Travel Demand Modeler	\$ 220.35
Travel Demand Modeler 3	\$ 193.90
Travel Demand Modeler 1	\$ 80.85
Admin 1	\$ 95.43



Wednesday, January 19, 2022

Andy Christy
Transit Manager
City of Concord/Rider Transit
3600 South Ridge Avenue
Concord, NC 28025

Dear Andy Christy:

Thank you for allowing AngelTrax to customize a proposal to suit your mobile surveillance needs. We pride ourselves on our workmanship and the expertise put forth into our research, development and manufacturing process. At AngelTrax, we believe that surveillance, service and reliability matter.

Please see a summary of proposed AngelTrax equipment attached. Contact me at my cellular number or email below for answers to any questions you may have, or if you need immediate assistance and I am not available, please contact our AngelTrax corporate office at 1.800.673.1788.

Our business depends solely upon our loyal partners. Through you and companies like yours, we earn the satisfaction of producing and supporting some of the finest mobile surveillance equipment on the market today. AngelTrax is committed to ensuring that your experience with our products and our people exceeds your expectations. Once again, thank you for your consideration.

Best Regards,

Laci Hatley
Mid-Atlantic Sales Executive
laci.hatley@angeltrax.com
803.414.3035
334.692.4606 (F)



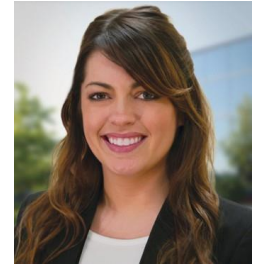
Search "AngelTrax" on www.gsaadvantage.gov
to see our products available for
direct purchase, without the bidding process.



ISSUE DATE.: 01/19/2022
 EXPIRY DATE.: 04/19/2022


PREPARED FOR:

PREPARED BY:
Laci Hatley



Mid-Atlantic Sales Executive
 119 South Woodburn Drive
 Dothan, AL 36305
 Cell: 803.414.3035
 Corporate Office: 1.800.673.1788
 laci.hatley@angeltrax.com







BILLING DETAILS	SHIPPING DETAILS
City of Concord/Rider Transit Andy Christy 3600 South Ridge Avenue Concord, NC 28025 USA 704-920-5878 christya@concordnc.gov	City of Concord/Rider Transit Andy Christy 3600 South Ridge Avenue Concord, NC 28025 USA 704-920-5878 christya@concordnc.gov

QUOTED PRODUCTS			
MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
NEW VULCANV12 HC 4TB PLATTER, GSA CONTRACT 09 Camera Configuration AngelTrax VULCANV1202HC Mobile Network Video Recording System (System Contents and Product Descriptions Listed Below)	7	\$4,474.51	\$31,321.57
 <p>V1202HC OPEN MARKET ITEM - Vulcan Series 14-Channel HD/IP Mobile Network Video Recorder</p> <ul style="list-style-type: none"> • 14 Channels with 12 Channels IP 720P, 1080P or up to 4MP + 2 Channels D1, WD1, 720P, or up to 1080P • Patented Hybrid Component Modular Design • 3.5-Inch 2TB Platter Hard Drive • 64GB SD Card for Redundant Recording • Built-in Wi-Fi Module • Built-in G-Force Sensor • Vandal-Resistant Locking Hard Drive • Panic Button • H.264/H.265 Compression 	1		






QUOTED PRODUCTS

MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
<p>HDD4TB35-Upgrade OPEN MARKET ITEM - HDD4TB-UPGRADE 3.5"</p>	1		
 <p>SD64GB 64GB SD Solid-State Memory Card</p> <p>We recommend the use of storage media provided only by AngelTrax for our recording devices. AngelTrax hard drives and SD cards are optimized for around-the-clock video surveillance and are designed to withstand extreme temperatures. Standard hard drives and SD cards purchased through consumer resellers are not made for surveillance devices and have been known to stop functioning at any time without warning, causing a loss of video.</p>	1		
 <p>VULPBH Vulcan Series Panic Button Housing PC color</p>	1		
 <p>IPSM1700 (2) OPEN MARKET ITEM - Vulcan HC Series Anvil 1700 IP Camera - Front Door, Lift</p> <ul style="list-style-type: none"> • 1.7mm Lens with Adjustable Lens Housing • Interior Camera • 1920 x 1080 Resolution • 2 Megapixels • Noise-Gated Microphone • Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Infrared 	2		
 <p>IPC3600HC (2) OPEN MARKET ITEM - Vulcan HC Series Anvil 3600 IP Camera - Windshield, Front to Rear</p> <ul style="list-style-type: none"> • 3.6mm Lens with 360-Degree Articulating Lens Casing for Image Orientation • IP68 Rated Waterproof Interior/Exterior Camera • 1080P HD • 2.12 Megapixels • Noise-Gated Microphone • Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Infrared 	2		
 <p>IPSMB2800 OPEN MARKET ITEM - Vulcan HC Series Anvil 2800 IP Backing Camera</p> <ul style="list-style-type: none"> • 2.8mm Lens • IP67 Rated Waterproof Exterior Camera • 1920 x 1080 Resolution • 2 Megapixels • Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Infrared 	1		
 <p>IPX2800 (4) OPEN MARKET ITEM - Vulcan HC Series 2800 IP Camera - Exterior Front to Rear Driverside, Exterior Front to Rear Curbside, Exterior Rear to Front Driverside, Exterior Rear to Front Curbside</p> <ul style="list-style-type: none"> • 2.8mm Lens • Adjustable Lens Housing for Mounting on Either Side of Vehicle • IP67 Rated Waterproof Exterior Camera • 1080P Resolution • 2 Megapixels • Anti-Vibration, Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Super Infrared 	4		








QUOTED PRODUCTS

MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
 <p>CAT615CBL CAT6 Shielded Camera Cable, 15 ft • Compatible only with Vulcan Series HCNVRs</p>	1		
 <p>CAT625CBL (2) CAT6 Shielded Camera Cable, 25 ft • Compatible only with Vulcan Series HCNVRs</p>	2		
 <p>CAT650CBL (6) CAT6 Shielded Camera Cable, 50 ft • Compatible only with Vulcan Series HCNVRs</p>	6		
 <p>POWL058 OPEN MARKET ITEM - Power Cable for Cradlepoint Modem • Inline Adapter Providing Power from MDVR Power Cable to Modem • Compatible Only with Vulcan Series V5SD, V5, V6X3, VX7AI, V8X3 and V12 MDVRs</p>	1		
<p>MISC1 OPEN MARKET ITEM - CAT5 Cable - to connect to existing cradlepoint</p>	1		
 <p>ADJBR100 OPEN MARKET ITEM - Adjustable Mounting Bracket for Vulcan Series HD-V Camera Capturing Windshield View</p>	1		
 <p>TRIMDANTV2 OPEN MARKET ITEM - Tri-Mode Roof-Mounted Antenna • Wi-Fi, Cellular and Active GPS Antenna • Roof-Mounted</p>	1		
<p>10 Camera Configuration</p>			




QUOTED PRODUCTS


MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
<p>AngelTrax VULCANV1202HC Mobile Network Video Recording System (System Contents and Product Descriptions Listed Below)</p>	11	\$4,766.87	\$52,435.57
 <p>V1202HC OPEN MARKET ITEM - Vulcan Series 14-Channel HD/IP Mobile Network Video Recorder</p> <ul style="list-style-type: none"> • 14 Channels with 12 Channels IP 720P, 1080P or up to 4MP + 2 Channels D1, WD1, 720P, or up to 1080P • Patented Hybrid Component Modular Design • 3.5-Inch 2TB Platter Hard Drive • 64GB SD Card for Redundant Recording • Built-in Wi-Fi Module • Built-in G-Force Sensor • Vandal-Resistant Locking Hard Drive • Panic Button • H.264/H.265 Compression 	1		
<p>HDD4TB-35-Upgrade OPEN MARKET ITEM - HDD4TB-UPGRADE 3.5"</p>	1		
 <p>SD64GB 64GB SD Solid-State Memory Card</p> <p>We recommend the use of storage media provided only by AngelTrax for our recording devices. AngelTrax hard drives and SD cards are optimized for around-the-clock video surveillance and are designed to withstand extreme temperatures. Standard hard drives and SD cards purchased through consumer resellers are not made for surveillance devices and have been known to stop functioning at any time without warning, causing a loss of video.</p>	1		
 <p>VULPBH Vulcan Series Panic Button Housing PC color</p>	1		
 <p>IPSM1700 (3) OPEN MARKET ITEM - Vulcan HC Series Anvil 1700 IP Camera - Front Door, Mid, Rear Door</p> <ul style="list-style-type: none"> • 1.7mm Lens with Adjustable Lens Housing • Interior Camera • 1920 x 1080 Resolution • 2 Megapixels • Noise-Gated Microphone • Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Infrared 	3		
 <p>IPC3600HC (2) OPEN MARKET ITEM - Vulcan HC Series Anvil 3600 IP Camera - Windshield, Front to Rear</p> <ul style="list-style-type: none"> • 3.6mm Lens with 360-Degree Articulating Lens Casing for Image Orientation • IP68 Rated Waterproof Interior/Exterior Camera • 1080P HD • 2.12 Megapixels • Noise-Gated Microphone • Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Infrared 	2		

QUOTED PRODUCTS

MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
 <p>IPSMB2800 OPEN MARKET ITEM - Vulcan HC Series Anvil 2800 IP Backing Camera • 2.8mm Lens • IP67 Rated Waterproof Exterior Camera • 1920 x 1080 Resolution • 2 Megapixels • Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Infrared</p>	1		
 <p>IPX2800 (4) OPEN MARKET ITEM - Vulcan HC Series 2800 IP Camera - Exterior Front to Rear Driveside, Exterior Front to Rear Curbside, Exterior Rear to Front Driveside, Exterior Rear to Front Curbside • 2.8mm Lens • Adjustable Lens Housing for Mounting on Either Side of Vehicle • IP67 Rated Waterproof Exterior Camera • 1080P Resolution • 2 Megapixels • Anti-Vibration, Vandal-Resistant Casing • Scratch-Resistant, Anti-Glare Glass Lens Cover • Super Infrared</p>	4		
 <p>CAT615CBL CAT6 Shielded Camera Cable, 15 ft • Compatible only with Vulcan Series HCNVRs</p>	1		
 <p>CAT625CBL (2) CAT6 Shielded Camera Cable, 25 ft • Compatible only with Vulcan Series HCNVRs</p>	2		
 <p>CAT650CBL (7) CAT6 Shielded Camera Cable, 50 ft • Compatible only with Vulcan Series HCNVRs</p>	7		
 <p>POWL058 OPEN MARKET ITEM - Power Cable for Cradlepoint Modem • Inline Adapter Providing Power from MDVR Power Cable to Modem • Compatible Only with Vulcan Series V5SD, V5, V6X3, VX7AI, V8X3 and V12 MDVRs</p>	1		
<p>MISC1 OPEN MARKET ITEM - CAT5 Cable - to connect to existing cradlepoint</p>	1		
 <p>ADJBR100 OPEN MARKET ITEM - Adjustable Mounting Bracket for Vulcan Series HD-V Camera Capturing Windshield View</p>	1		

QUOTED PRODUCTS

MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
 <p>TRIMDANTV2 OPEN MARKET ITEM - Tri-Mode Roof-Mounted Antenna • Wi-Fi, Cellular and Active GPS Antenna • Roof-Mounted</p>	1		
 <p>VULPWRKEY OPEN MARKET ITEM - Security Key USB 3.0 for Vulcan Series HCNVRs and V16-35 MDVR • Includes DC Power Supply for Reader</p>	1	\$0.00	\$0.00
 <p>CP4 OPEN MARKET ITEM - Vulcan Series Touchscreen Backing & Firmware Control Monitor with Bracket *Required for programming and diagnostics of Vulcan systems</p>	2	\$209.93	\$419.86
<p>4TB PLATTER SPARE HARD DRIVES</p>	5	\$319.83	\$1,599.15
<p>HDD4TB35 OPEN MARKET ITEM - 4TB 3.5-Inch Platter Hard Drive REQUIRES PURCHASE OF HARD DRIVE TRAY</p>	1		
<p>We recommend the use of storage media provided only by AngelTrax for our recording devices. AngelTrax hard drives and SD cards are optimized for around-the-clock video surveillance and are designed to withstand extreme temperatures. Standard hard drives and SD cards purchased through consumer resellers are not made for surveillance devices and have been known to stop functioning at any time without warning, causing a loss of video.</p>			
<p>V1235HDDTRAY OPEN MARKET ITEM - 3.5-Inch Hard Drive Tray for Vulcan Series V1202 HC MNVR and V1284 HC MDVR HDD TRAY REQUIRED FOR ALL VULCAN SERIES SPARE HARD DRIVES REQUIRES PURCHASE OF HARD DRIVE</p>	1		
<p>PRO8CMLCFEE-1 OPEN MARKET ITEM - PREPAID FOR 5 YEARS - Pro 8 Central Management System Annual Licensing Fee • Annual License Fee Per Year (1-25 Vehicles) • 1 YEAR CONTRACT</p>	5	\$1,000.00	\$5,000.00

QUOTED PRODUCTS			
MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
<p>HOSTEDSERVER-1 OPEN MARKET ITEM - PREPAID FOR 5 YEARS - Hosted Server - 1-25 Vehicles Remote storage of audio, video and data secured on a hosted server Remote storage protection with the following security features:</p> <ul style="list-style-type: none"> • 256-bit encryption • ISP line with a minimum of 1GB • Redundancy on all equipment, including firewalls, switches and servers • Triple redundancy on all storage, including on site and off site backups • Server facility secured with two-factor authentication for restricted access by only authorized personnel of storage provider <ul style="list-style-type: none"> • Data segregation to restrict each client's audio, video and data from being accessed by any other client • Requires PRO8CMS • \$84 Annual Fee Per Vehicle • 1 Year Contract 	90	\$84.00	\$7,560.00
 <p>MotoTrax-SETUP MotoTrax Online Surveillance Management Software</p> <ul style="list-style-type: none"> • One-Time Setup Fee per Vehicle 	18	\$20.15	\$362.70
<p>MotoTrax-CD PREPAID FOR 5 YEARS - MotoTrax Online Surveillance Management Software</p> <ul style="list-style-type: none"> • Data Plan Provided by Customer • Annual Charge per Vehicle • 1 Year Contract 	90	\$241.81	\$21,762.90
<p>CONTLABOR-Wireless Contract Labor for Configuration of Wireless Components</p> <ul style="list-style-type: none"> • Configuration of AngelTrax wireless components purchased for use with Vulcan Series MDVR/HCNVR systems • NOTE: Wireless components must be configured by a Certified AngelTrax IT Professional. • Price is per system. • Price is determined by type of wireless service (cellular or Wi-Fi) and software/tracking system purchased. <ul style="list-style-type: none"> • This quote does not include charges for the removal of any existing camera systems or equipment. • *If quote is for multiple systems, pricing is based upon the configuration of (# of systems) AngelTrax Wireless Components at the same time and location. <p>Cellular</p> <ul style="list-style-type: none"> • Contact cellular carrier to activate service to Vulcan component(s). • Program unit to connect to PRO8CMS or MotoTrax. • Set up each unit's ID and assigned vehicle number to be recognized in PRO8CMS or MotoTrax. • Program unit to connect with customer's server or AngelTrax server. <p>Wi-Fi</p> <ul style="list-style-type: none"> • Contact customer's IT department for customer's Wi-Fi login at vehicle parking facility. • Program unit to connect to PRO8CMS or MotoTrax per customer's requirements: scheduled downloads or downloads upon connection to customer's Wi-Fi access point. <ul style="list-style-type: none"> • Set up each unit's ID and assigned vehicle number to be recognized in PRO8CMS or MotoTrax. 	18	\$150.00	\$2,700.00
<p>CONTLABOR Uninstall of Existing AngelTrax Camera System, per system. *If quote is for multiple cameras/systems, installation price is based upon the installation of the total quantity quoted at the same time and location.</p>	18	\$50.00	\$900.00

QUOTED PRODUCTS			
MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
CONTLABOR Installation of AngelTrax 09 Camera System, per system. *If quote is for multiple cameras/systems, installation price is based upon the installation of the total quantity quoted at the same time and location.	7	\$688.00	\$4,816.00
CONTLABOR Installation of AngelTrax 10 Camera System, per system. *If quote is for multiple cameras/systems, installation price is based upon the installation of the total quantity quoted at the same time and location.	11	\$688.00	\$7,568.00
GSA-CONTRACT GSA Contract GS-07F-0447V	1	\$0.00	\$0.00
MISC1 **PURCHASING UNDER FEDERALLY DECLARED COVID EMERGENCY ORDER**	1	\$0.00	\$0.00
SHIPPING/HANDLING Shipping and Handling Charges - 18 system boxes + 1 bulk box * Optional items are not included in the calculation.*	1	\$848.00	\$848.00
You may be eligible for lower pricing!			TOTAL
			\$137,293.75

Ask us about purchasing through a local, state or national contract for competitive pricing without the bid process.

QUOTED PRODUCTS - OPTIONAL ITEMS			
NOTE: OPTIONAL ITEMS BELOW ARE NOT INCLUDED IN TOTAL PRICING ABOVE.			
MODEL & DESCRIPTION	QTY	UNIT PRICE	TOTAL PRICE
OPTIONAL PARALLAX CAMERAS			

Signed and endorsed by: _____

Printed Name _____

CORPORATE & FREIGHT POLICIES

The information in this document is to be held confidential by the receiving party. Disclosure of this information is permitted only to persons with the need to know the information for the intended purpose of this document, for the sole and exclusive benefit of the disclosing party. Specifications and prices are subject to change without notice. Please allow three to four weeks for delivery on special order items. Net 30 days from date of invoice to approved accounts. A handling fee is charged for customers who request third party billing freight. Items will be shipped UPS or FedEx, ground delivery, unless otherwise requested. No returns will be accepted after 30 days from invoice date. A 15% restocking fee will be added to all returned items. All items returned will be subject to inspection by IVS, Inc. Items deemed used or "B" goods will be returned to customer freight collect.

This price quote is good for 90 days or for the agreed upon contract date; after which, products and pricing are subject to change.

The customer will be responsible for all applicable taxes.

Warranty Notice: Technical support, warranty parts and services are contingent on your account being current and up to date.

License Notice: All AngeITrax and VisuCop software is used by license agreement only and is not for sale.

TITLE & OWNERSHIP POLICY

"Title/Ownership" of any item described in the quote or invoice does not pass to purchaser until such time as the invoice is paid in full. Seller has no duty to provide back office software support, warranty support or any monitoring for any item described in the unpaid invoice. Seller has the right to immediate possession of all items not paid for. Purchaser agrees to deliver to seller each item described in the invoice upon demand of seller at purchaser's expense. Delivery of the product described in the invoice shall not in any way terminate purchaser's obligation to pay for products ordered by purchaser and delivered to purchaser by seller. By accepting the product described on the invoice, buyer agrees that, should civil litigation arise due to non-payment, buyer expressly consents to jurisdiction in the State of Alabama and venue in Houston County, Alabama.

BID TERMS & CONDITIONS

If this quote is for a bid, the terms and conditions of the bid shall take the place of any applicable terms, conditions and disclaimers included in this quote.

Vulcan™ Series V12HC IP Mobile NVR

12-CHANNEL MNVR

DIMENSIONS

- Height: 5.9 inches
- Width: 6.4 inches
- Depth: 12.3 inches
- Weight: 9.3 pounds

TWELVE (12) IP INPUTS

- 12 channels IP 720P up to 1080P

VIDEO OUTPUTS

- 2 channels: CP4/VGA

AUDIO OUTPUTS

- 2 channels: CP4/VGA

CAMERA COMPATIBILITY

- 12 channels IP 720P up to 1080P

STORAGE MEDIA

RECORDING MEDIUM

- One (1) or two (2) 2.5" 1TB SATA hard drives, one (1) eSATA and one (1) optional solid-state SD card

CAPACITY

- 1TB (standard) + 1TB (optional) or 2TB each HDD for 4TB total, (optional) 128GB SD card up to 512GB
- Up to 16TB total storage with eSATA port

USB

- 1 x USB2.0 (Type A) + 1 x USB2.0 (Type B)

RECORDING OPTIONS

- eSATA and SD card slot for redundant recording

INTERFACE

CAMERA CONNECTION

- 12 RJ45 connections with 12V POE

NETWORK DATA CONNECTION

- RJ45 x 2 (10/100Mbps)

EXPANSION

- RS232 x 2, RS485 x 2

GPS INTERFACE

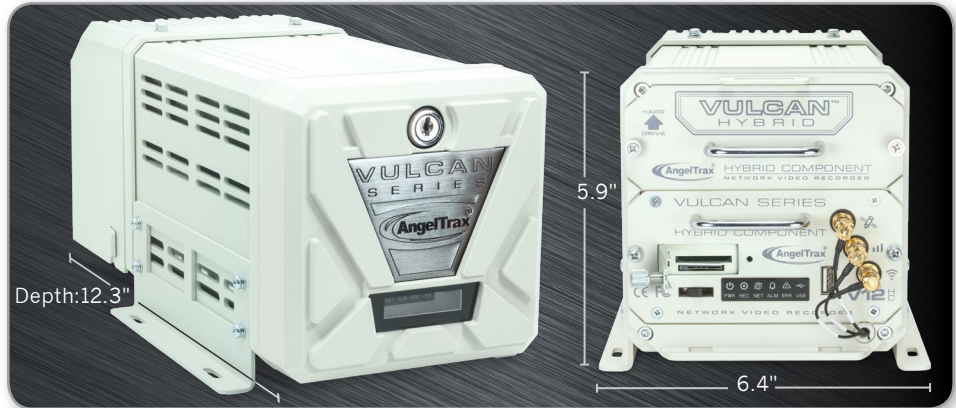
- Built-in, compatible with optional GPS antenna

DRIVER ACTION DETECTION

PANIC BUTTON

The remote status indicator (panic button) can be connected to show MNVR power and record status without using a video monitor and has the following functions:

- Solid green LED indicates that the unit has power and is recording
- Event marker (panic button)



DRIVER ACTION DETECTION WIRES

- 8 signal wires individually programmable to indicate alarm or event plus one (1) output and one (1) DC 12V out

BUILT-IN G-FORCE SENSOR

COMPRESSION FORMAT

- Video: H.264/H.265
- Audio: ADPCM

RECORD RESOLUTION

DIGITAL

- Parallax View™ (horizontal resolution exceeds cinema 4K), 4MP (4192X1360), 1080P (1920X1080), 720P (1280X720) @30fps

NTSC

- 1080P, 720P, WD1(928X480), WHD1(928X240), WCIF(464X240), D1(704X480), HD1(704X240), CIF(352X240)

PAL

- 1080P, 720P, WD1(928X576), WHD1(928X288), WCIF(464X288), D1(704X576), HD1(704X288), CIF(352X288)

RECORDING OPTIONS

- **Continuous record:** System will record all channels continuously while vehicle is running (factory setting).
- **Alarm record:** System will record when an alarm is triggered.
- **Motion record:** System will record when the cameras detect motion while vehicle is running.
- **Schedule record:** System will boot and record according to user-selectable schedule.

ELECTRICAL & OPERATING REQUIREMENTS

AUTO ON/OFF DETECTION

- ACC detection

DELAY OFF SETTING

- User selectable up to 24 hours

OPERATING VOLTAGE

- DC 9~36V, ACC

OPERATING TEMPERATURE

- -40°F (-40°C) ~ +158°F (+70°C) with automatic heating

OPERATING HUMIDITY

- 8% - 90% (No condensation)

POWER CONSUMPTION

- StandBy: ≈ 1W
- Standard (all cameras IR on): 64W
- Full load (all accessories): 109W

POWER SUPPLY

INPUT RANGE

- DC 9-36V, ACC

OUTPUT RANGE

- 5V@500mA, 12V@500mA

BUILT-IN POWER PROTECTION

LOW VOLTAGE PROTECTION

- User selectable and programmed at installation

HYBRID COMPONENT™ TECHNOLOGY

Modular design for on-site service, maintenance and upgrades in minutes.

HOUSING/CASING

- Removable, shock-mounted
- Vandal-resistant locking front cover
- Shock-resistant: MIL-STD-810F
- Aluminum
- Built-in fan with filter, removable for cleaning

BUILT-IN WI-FI MODULE

OPTIONAL COMPONENTS

VIRTUAL SYNCHRONIZED MAPPING™

GPS ANTENNA

FIREPROOF BOX BACKUP

CELLULAR MODEM

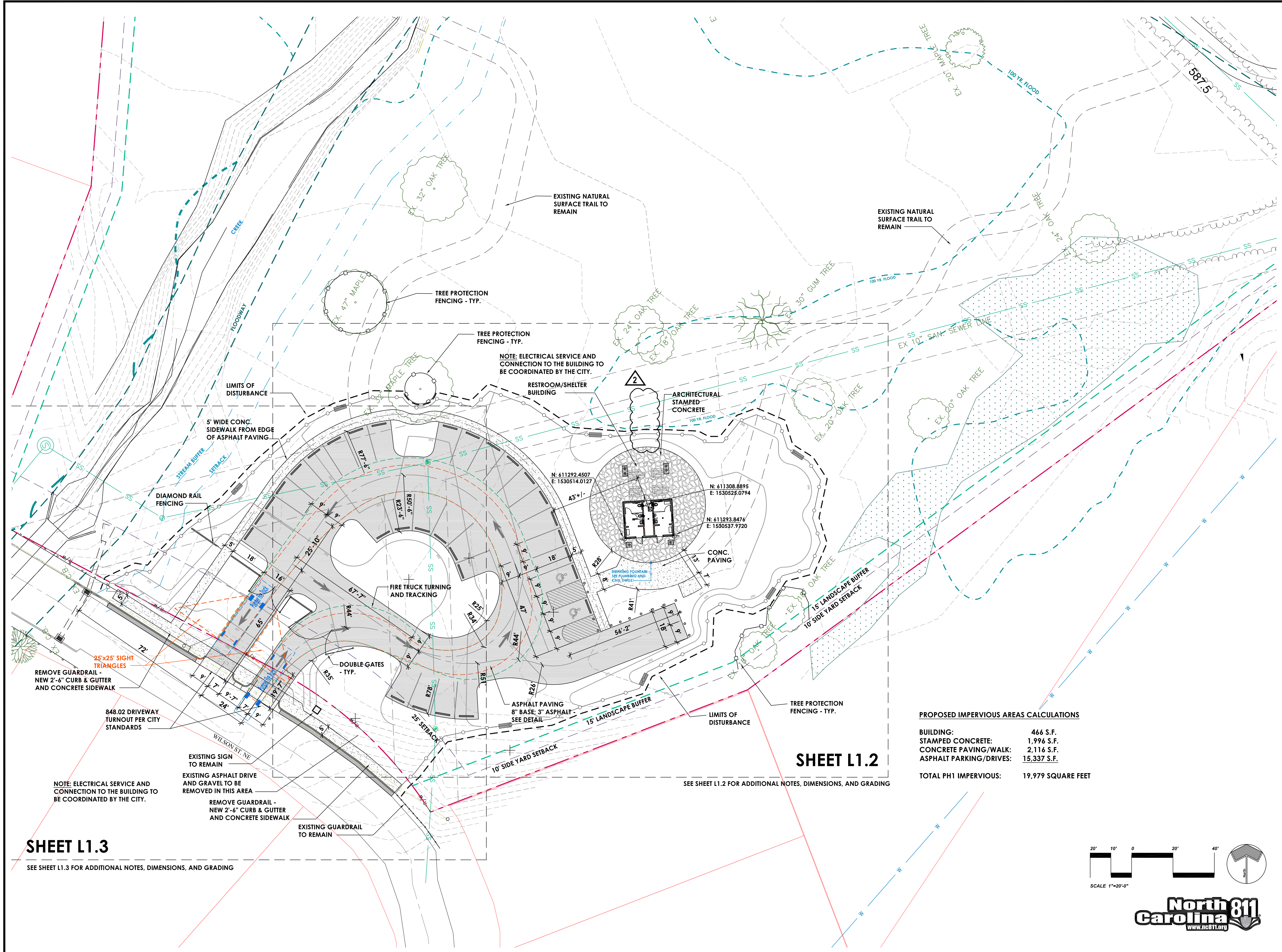
Specifications, features and applications of use are subject to change without notice. ▼ 10/2018 A



Wilson Street Park - Concept Plan

Concord, NC
Adopted: July 9, 2020





SHEET L1.3

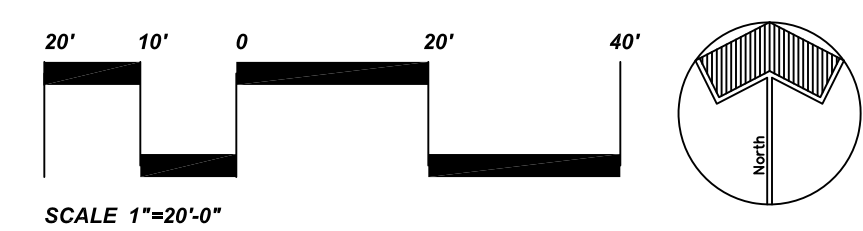
SEE SHEET L1.3 FOR ADDITIONAL NOTES, DIMENSIONS, AND GRADING

SHEET L1.2

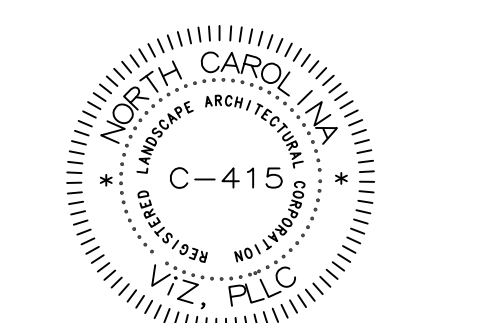
SEE SHEET L1.2 FOR ADDITIONAL NOTES, DIMENSIONS, AND GRADING

PROPOSED IMPERVIOUS AREAS CALCULATIONS

BUILDING:	466 S.F.
STAMPED CONCRETE:	1,996 S.F.
CONCRETE PAVING/WALK:	2,116 S.F.
ASPHALT PARKING/DRIVES:	15,337 S.F.
TOTAL PH1 IMPERVIOUS:	19,979 SQUARE FEET



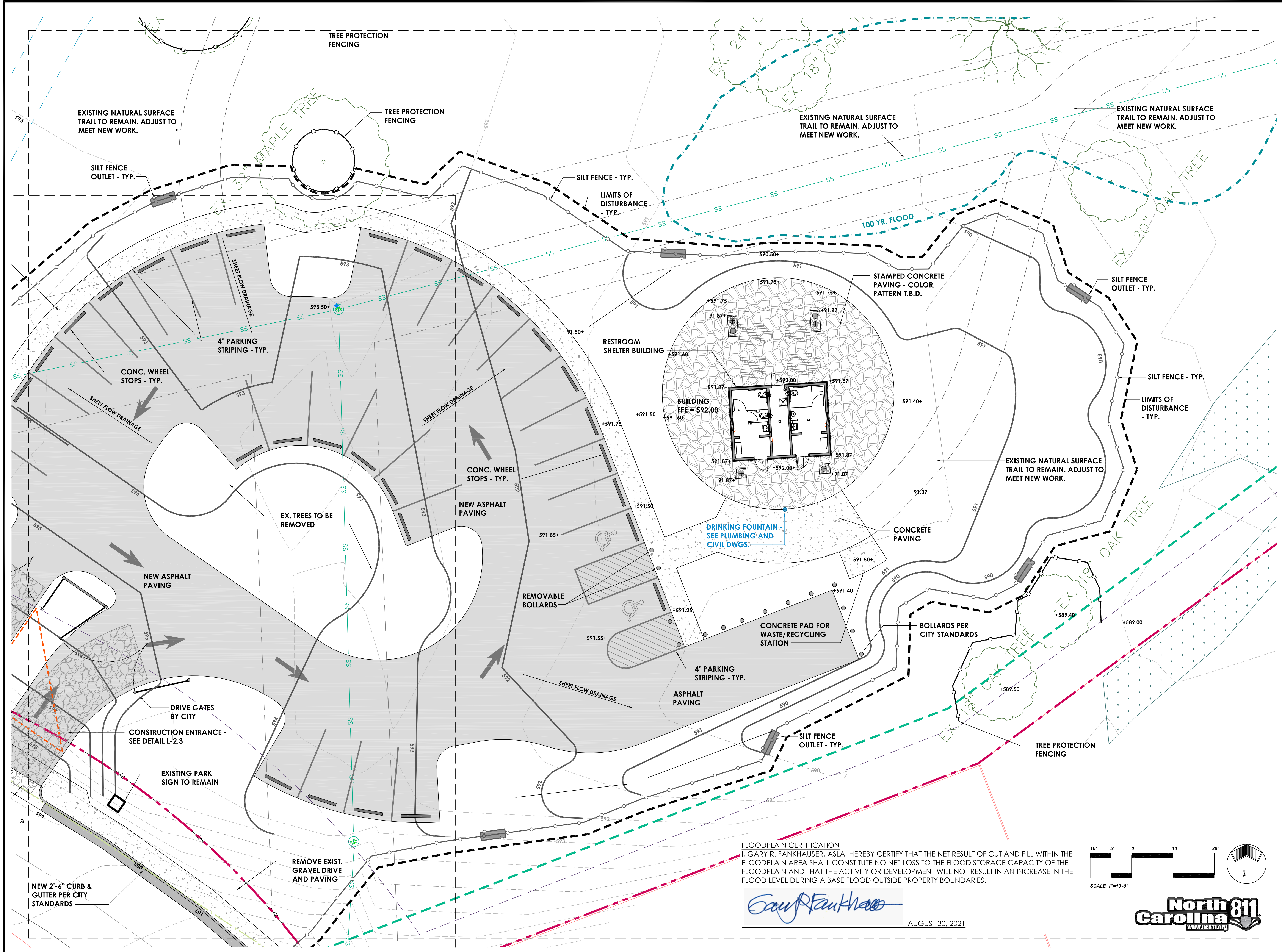
REV.#	DATE	DESCRIPTION
1	08/30/2021	ACCELA CYCLE 1 COMMENTS
2	09/14/2021	ACCELA CYCLE 2 COMMENTS



DATE: 7/23/2021
 SCALE: AS SHOWN
 JOB NUMBER: 20-45.1
 DESIGNED BY: GRF
 DRAWN BY: GRF

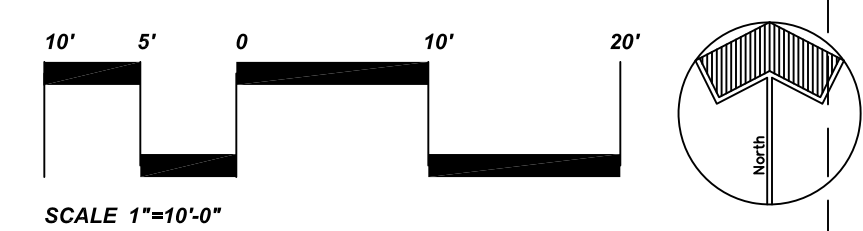
**STAKING, PAVING,
 AND GRADING PLAN**

L1.1



FLOODPLAIN CERTIFICATION
 I, GARY R. FANKHAUSER, ASLA, HEREBY CERTIFY THAT THE NET RESULT OF CUT AND FILL WITHIN THE FLOODPLAIN AREA SHALL CONSTITUTE NO NET LOSS TO THE FLOOD STORAGE CAPACITY OF THE FLOODPLAIN AND THAT THE ACTIVITY OR DEVELOPMENT WILL NOT RESULT IN AN INCREASE IN THE FLOOD LEVEL DURING A BASE FLOOD OUTSIDE PROPERTY BOUNDARIES.

Gary Fankhauser
 AUGUST 30, 2021

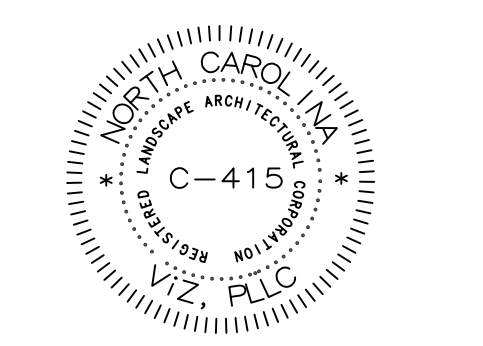


VIZ
 VIZ, PLLC
 Urban Design + Land Planning + Landscape Architecture
 PO Box 704
 Cornelius, NC 28031
 (704) 997-6144
 gary@viz.design



Wilson St. Park
 Concord, NC
Concord
 PARKS & RECREATION

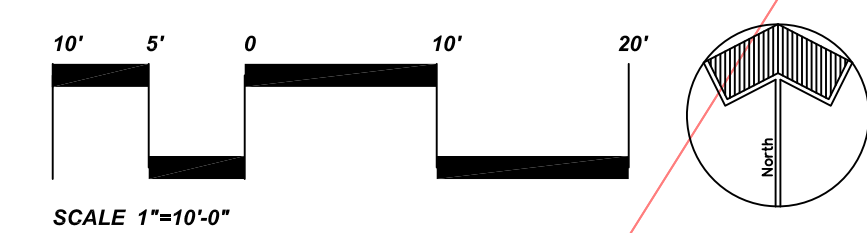
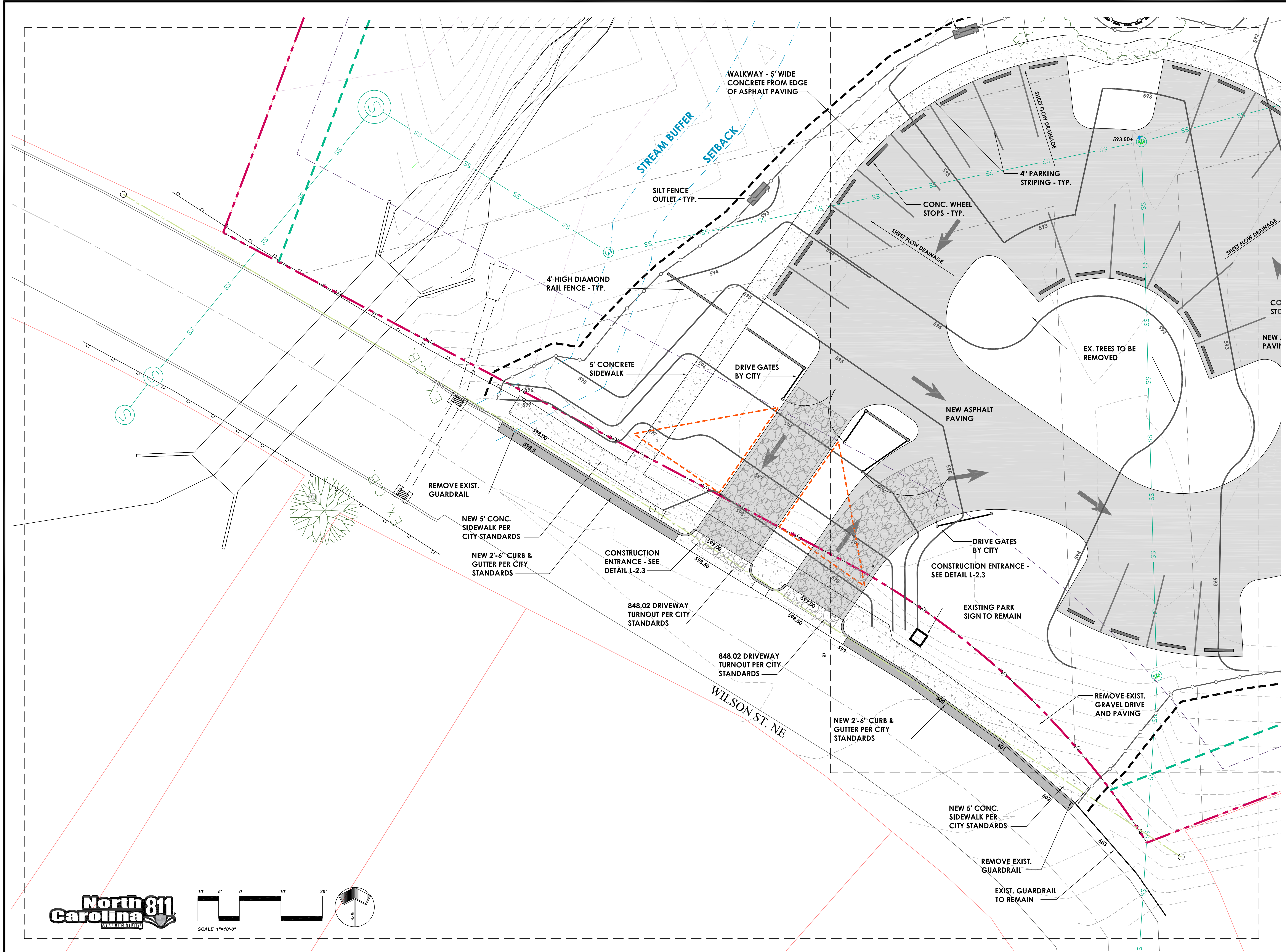
REV.#	DATE	DESCRIPTION
1	08/30/2021	ACCELA CYCLE 1 COMMENTS
2	09/14/2021	ACCELA CYCLE 2 COMMENTS



DATE: 7/23/2021
 SCALE: AS SHOWN
 JOB NUMBER: 20-45.1
 DESIGNED BY: GRF
 DRAWN BY: GRF

ENLARGED PAVING,
 GRADING, EROSION
 CONTROL PLAN

L1.2

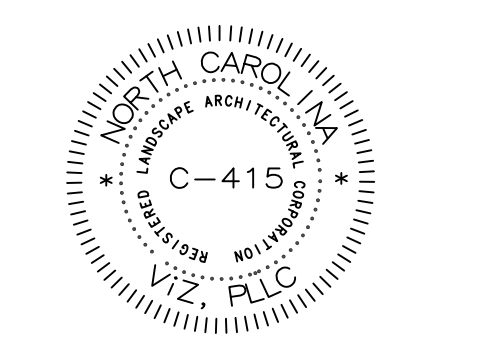


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 Urban Design + Land Planning + Landscape Architecture
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 Cornelius, NC 28031
 (704) 997-6144
 gary@viz.design



Wilson St. Park
 Concord, NC

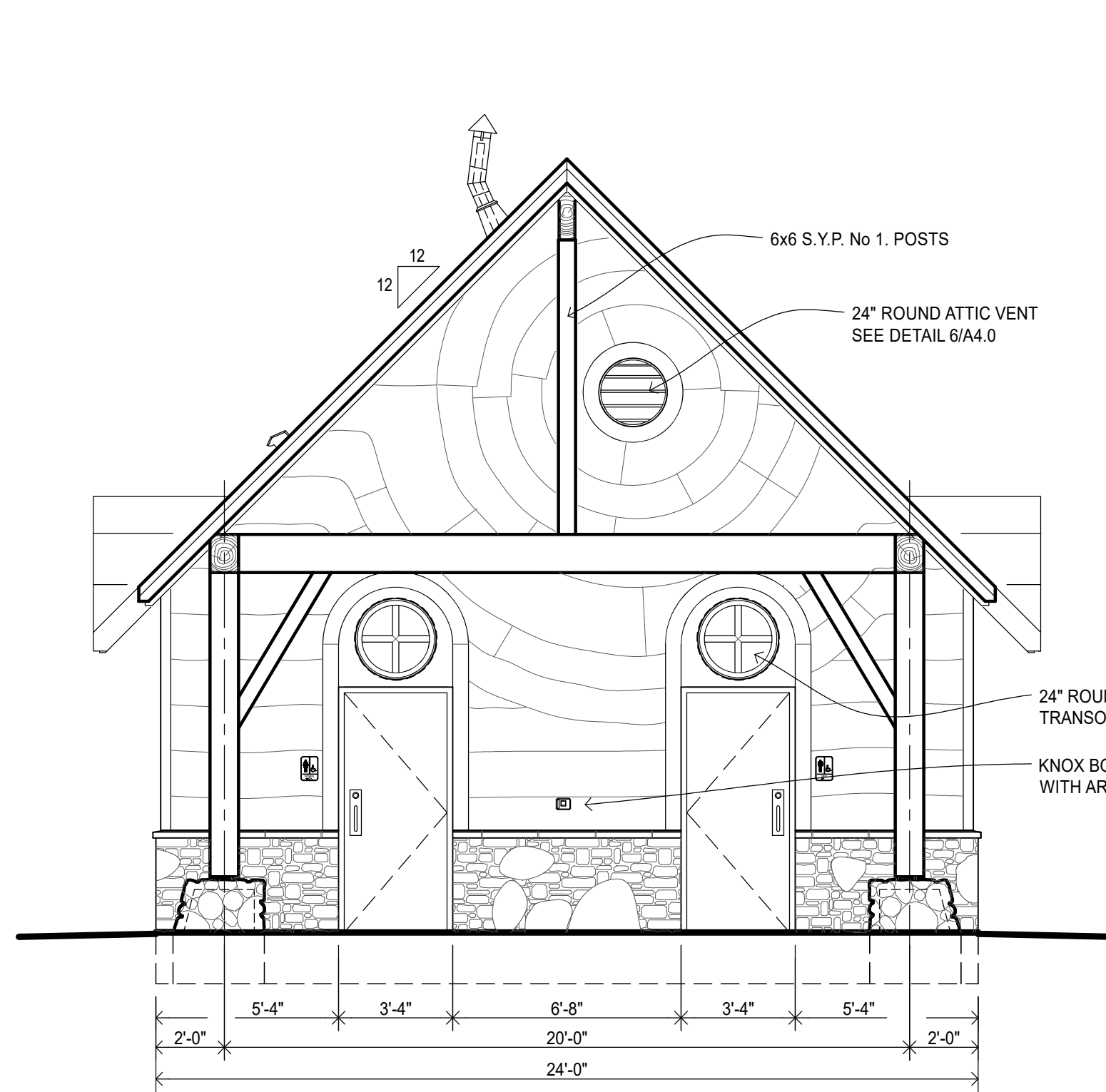
REV. #	DATE	DESCRIPTION
1	08/30/2021	ACCELA CYCLE 1 COMMENTS
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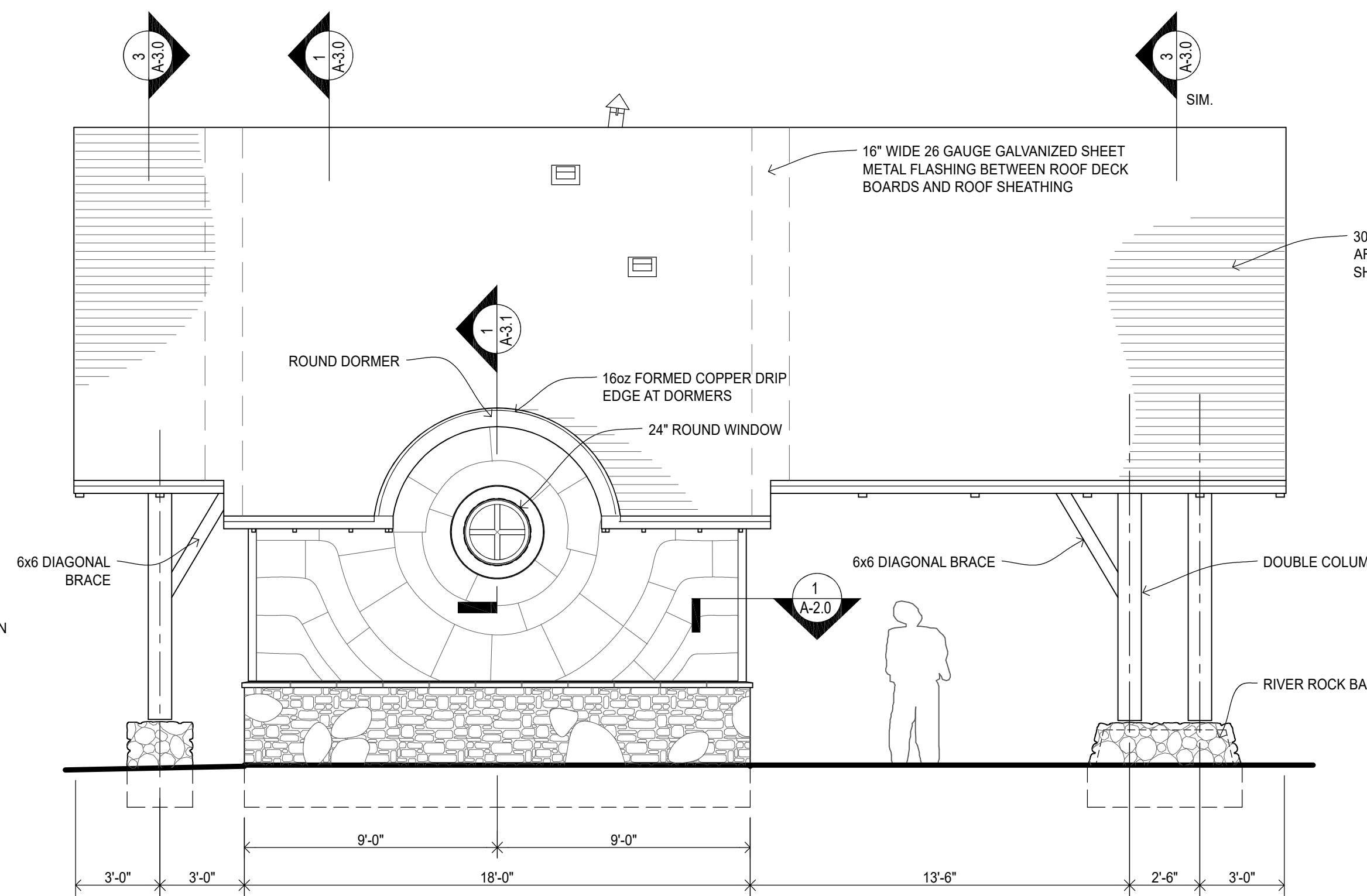
DATE: 7/23/2021
 SCALE: AS SHOWN
 JOB NUMBER: 20-45.1
 DESIGNED BY: GRF
 DRAWN BY: GRF

ENLARGED PAVING,
 GRADING, EROSION
 CONTROL PLAN

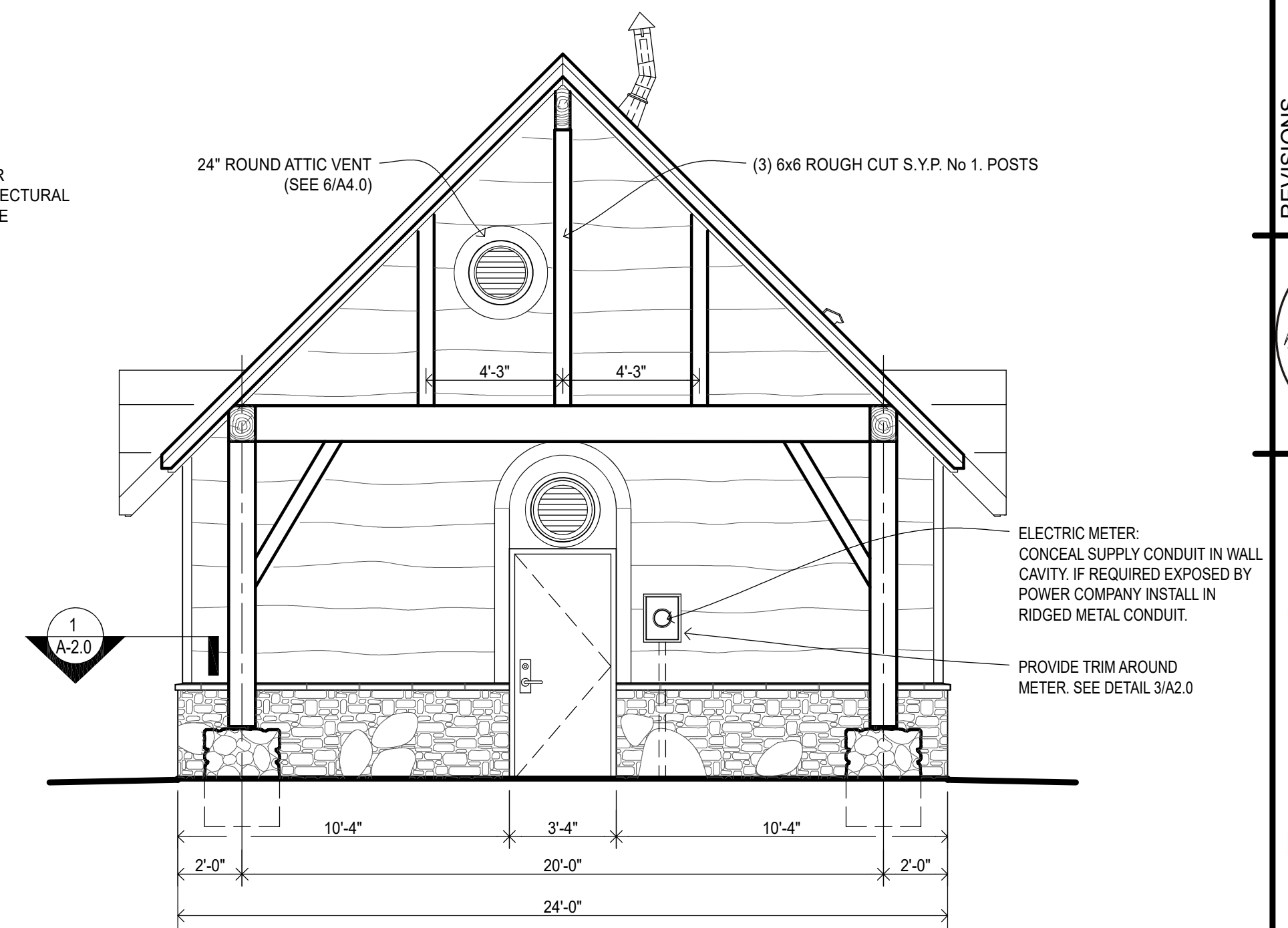
L1.3



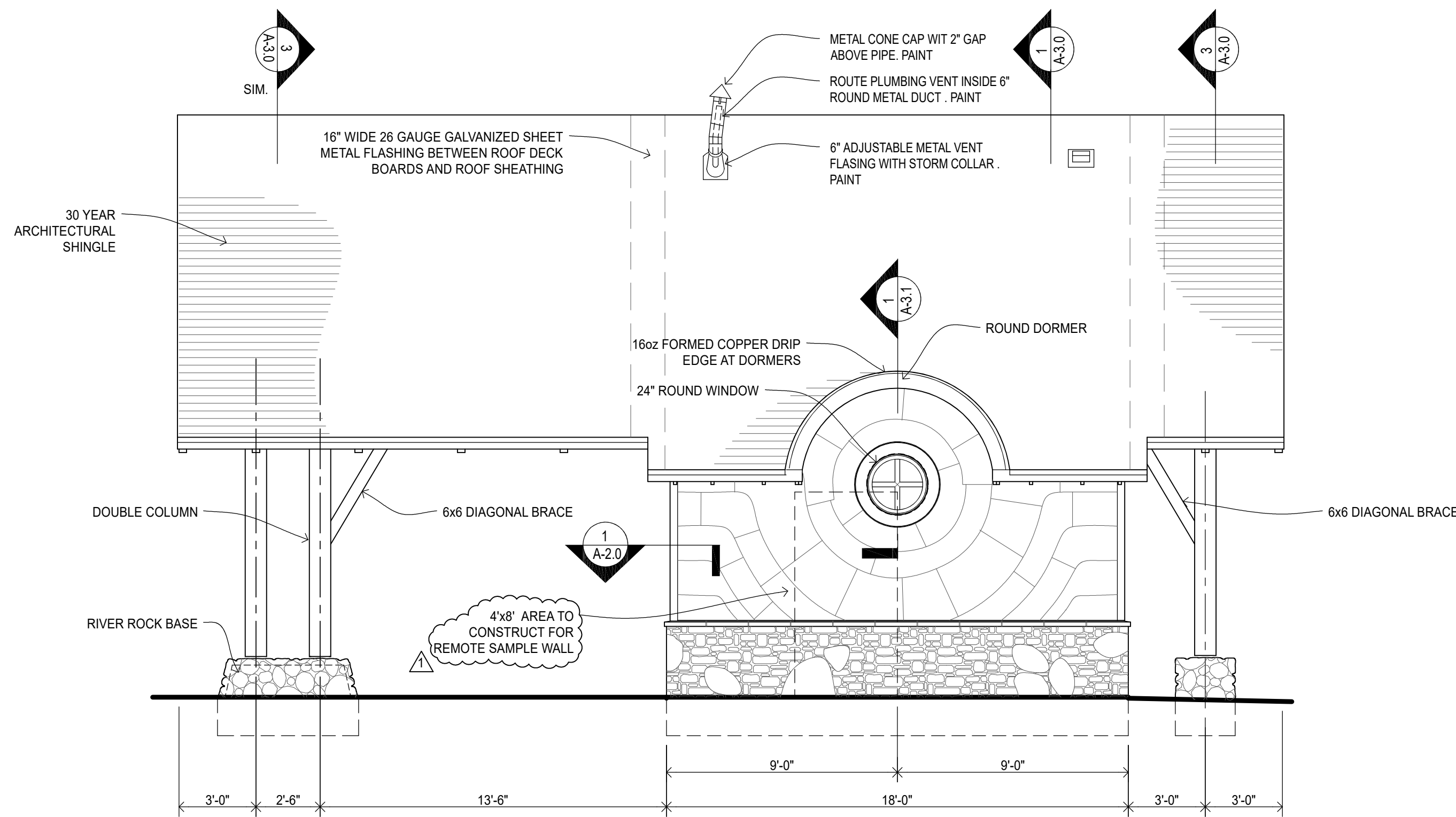
A SOUTH ELEVATION
A2.0 SCALE: 1/4"=1'-0"



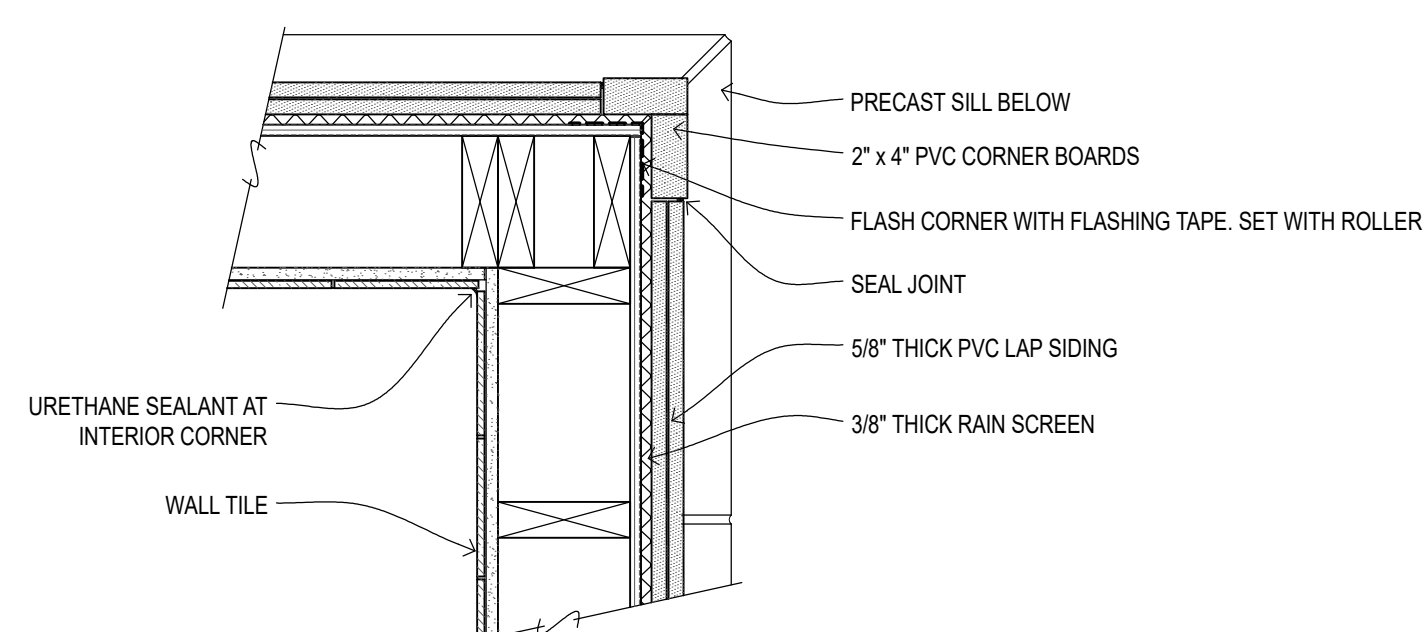
B EAST ELEVATION
A2.0 SCALE: 1/4"=1'-0"



C NORTH ELEVATION
A2.0 SCALE: 1/4"=1'-0"



D WEST ELEVATION
A2.0 SCALE: 1/4"=1'-0"



1 OUTSIDE CORNER DETAIL
A2.0 SCALE: 1-1/2"=1'-0"

PVC SIDING AND TRIM:

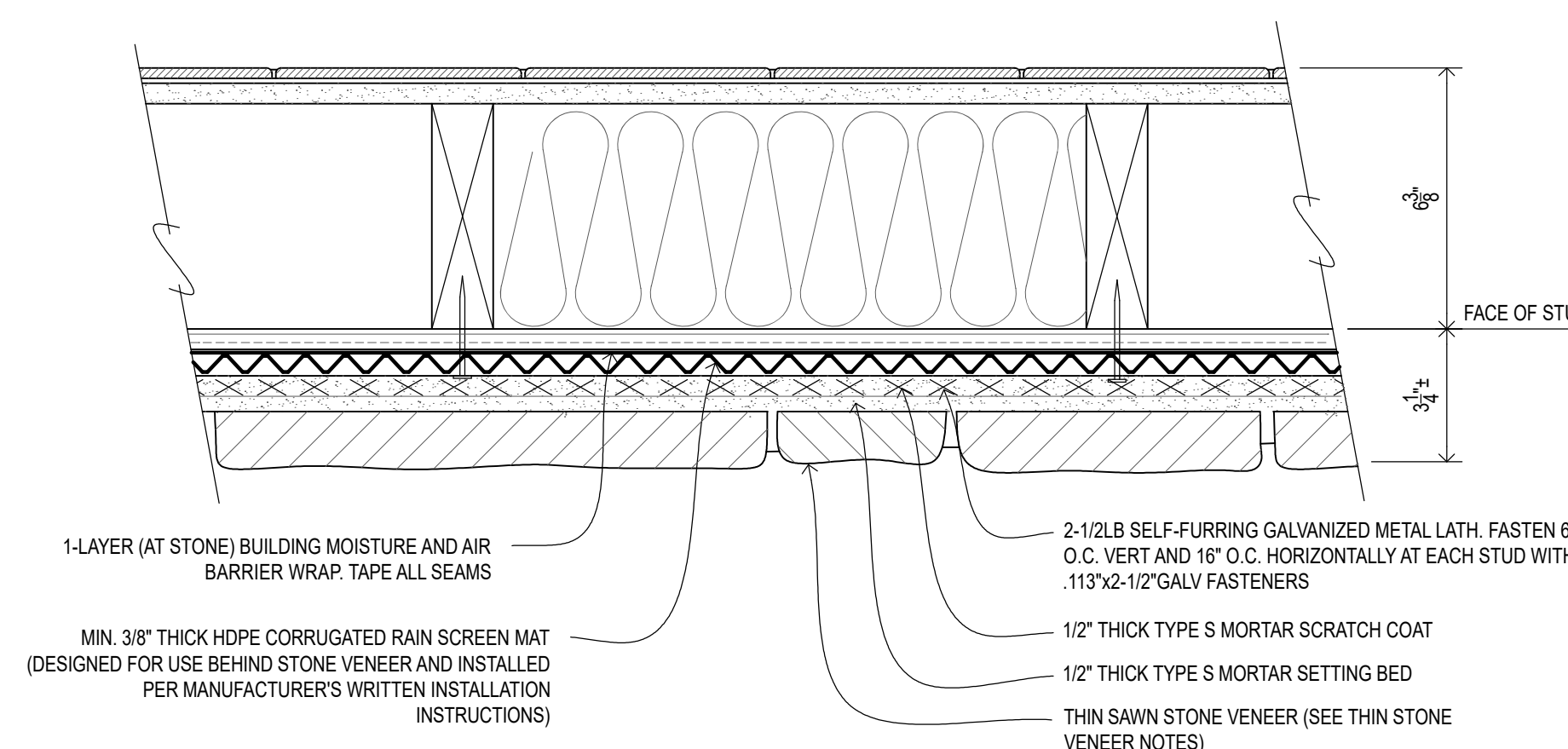
- LAP SIDING SHALL BE CUT FROM 4x8x5/8" THICK SMOOTH FACE PVC PANELS. 2D-CAD SIDING PANEL PATTERNS SHALL BE PROVIDED TO USE AS TEMPLATE GUIDE.
TRIM BOARDS: 1-1/2" THICK PVC TRIM BOARDS SHALL BE USED IN SIDING AND WINDOW TRIM AREAS. 3/4" THICK TRIM BOARDS CAN BE USED AWAY FROM SIDING. TEXTURE SHALL BE SMOOTH. MINIMUM LENGTH OF BOARD BETWEEN CUT JOINTS SHALL BE 8'-0". MITER AND GLUE ALL INTERMITTENT JOINTS.
- SIDING PANELS AND TRIM TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- ALL SIDING AND TRIM MUST BE FLASHED IN ACCORDANCE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- MANUFACTURER'S RECOMMENDED FASTENERS AND FASTENER SPACINGS FOR INSTALLATION INTO SPECIFIED MATERIALS SHALL BE USED.
- SAMPLE WALL PANEL: A MINIMUM 4x8' TALL WALL PANEL WITH ALL BASE, CAP AND RAIN SCREEN FLASHINGS SHALL BE CONSTRUCTED FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO INSTALLATION ON THE BUILDING. THE SAMPLE SHALL BE SEPARATE FROM THE BUILDING. PROTECT AND RETAIN SAMPLE AS A BASIS FOR APPROVAL OF COMPLETED STONE WORK.

ADHERED THIN STONE VENEER

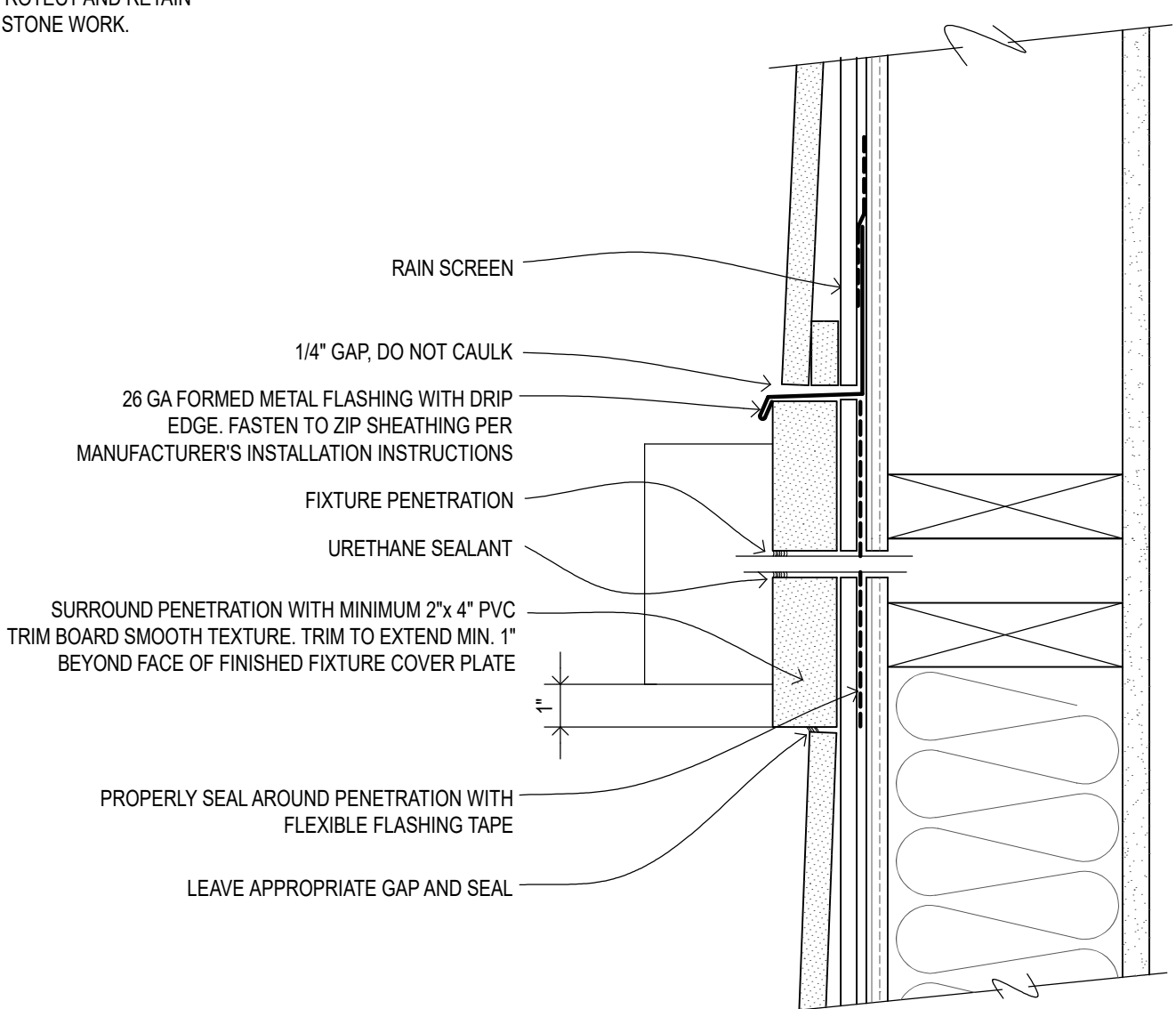
- STONE COURSEING AND JOINTS TO MATCH THE DAVID PHILLIPS ACTIVITY CENTER SHELTER. PICTURE RIGHT.
- MANUFACTURED LEDGESTONE AND FIELD STONE MIX AS MANUFACTURED BY BUILDERS CHOICE STONE (STONE MASTER, Inc.)
- 85% SOUTHERN APPALACHIAN LEDGESTONE - DAKOTA BROWN BLEND
- 15% FIELD STONE - TENNESSEE MOUNTAIN.
- MORTAR JOINTS SHALL BE 1/4"-1/2" WIDE
- USE MANUFACTURED CORNER PIECES.
- WATER TABLE: SLOPED PRECAST BUILDERS CHOICE: 18"L x 3.75"H x 2.375"H WAINSCOT SILL WITH SNAPPED EDGE, COLOR: LIGHT BROWN
- TYPE S PORTLAND CEMENT, COLOR AS SELECTED BY ARCHITECT; GREY FOR STONE AND MATCH COLOR AT PRECAST SILL.
- INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND MASONRY VENEER MANUFACTURER'S ASSOCIATION (M/MA) INSTALLATION GUIDE WITH DRAINAGE CAVITY.
- DO NOT INSTALL STONE WHEN AIR TEMPERATURE FALLS BELOW 40 DEGREES FAHRENHEIT.
- PROTECT ADJACENT WORK FROM MORTAR AND DAMAGE.
- CLEAN AND REMOVE ACCESS MORTAR FROM STONE AFTER INSTALLATION PER MANUFACTURER'S INSTRUCTIONS. DO NOT USE STRONG CHEMICAL CLEANERS.
- SAMPLE WALL PANEL: A MINIMUM 4x8' TALL WALL PANEL WITH ALL BASE, CAP AND RAIN SCREEN FLASHINGS SHALL BE CONSTRUCTED FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO INSTALLATION ON THE BUILDING. THE SAMPLE SHALL BE SEPARATE FROM THE BUILDING. PROTECT AND RETAIN SAMPLE AS A BASIS FOR APPROVAL OF COMPLETED STONE WORK.

COLUMN BASE ADHERED THIN STONE VENEER

- MANUFACTURED RIVER ROCK: ELDERADO STONE, COLORADO RIVER ROCK.
- MORTAR JOINTS SHALL BE 1/4"-1/2" WIDE
- USE MANUFACTURED CORNER PIECES.
- INSTALL PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND MASONRY VENEER MANUFACTURER'S ASSOCIATION (M/MA) INSTALLATION GUIDE WITH DRAINAGE CAVITY.
- TYPE S PORTLAND CEMENT, COLOR AS SELECTED BY ARCHITECT; COLOR: GREY FOR STONE.
- DO NOT INSTALL STONE WHEN AIR TEMPERATURE FALLS BELOW 40 DEGREES FAHRENHEIT
- PROTECT ADJACENT WORK FROM MORTAR AND DAMAGE.
- CLEAN AND REMOVE ACCESS MORTAR FROM STONE AFTER INSTALLATION PER MANUFACTURER'S INSTRUCTIONS. DO NOT USE STRONG CHEMICAL CLEANERS.
- SAMPLE COLUMN BASE: CONSTRUCT SEPARATE SAMPLE BASE PRIOR TO INSTALLATION ON THE BUILDING. PROTECT AND RETAIN SAMPLE AS A BASIS FOR APPROVAL OF COMPLETED STONE WORK.



2 THIN STONE PLAN DETAIL
A2.0 SCALE: 3"=1'-0"



3 SIDING PENETRATION DETAIL
A2.0 SCALE: 3"=1'-0"

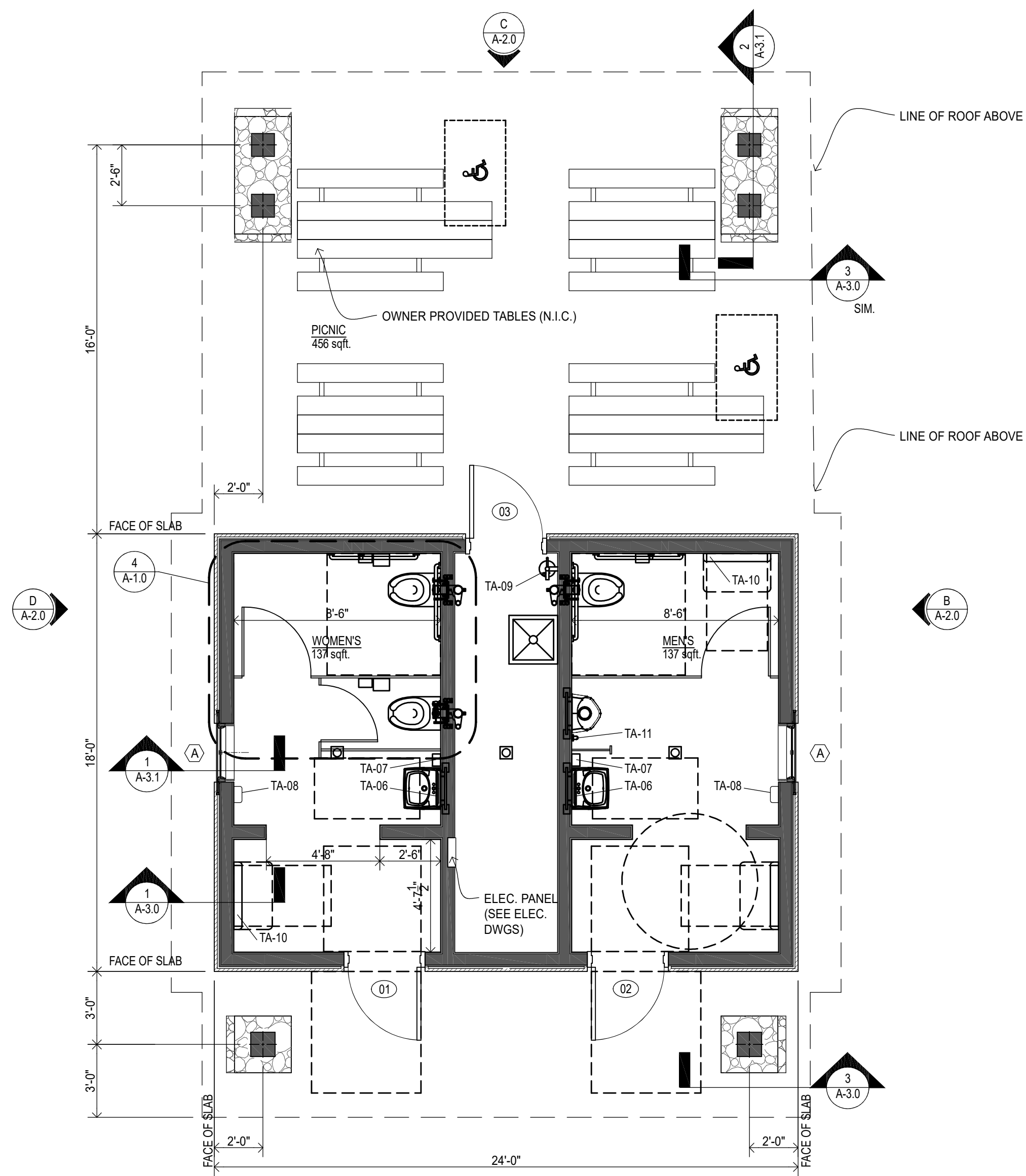
REVISIONS	NO.	DATE	BY	CHKD	DESCRIPTION
	1	11/15/2021	BHC		ADDENDUM 1



Concord
PARKS & RECREATION
Wilson Street Park
106 Wilson Street, Concord, NC 28026

citizen design
2408 Commonwealth Ave.
Charlotte, NC 28205
Architecture • Planning • Staff

DATE: 08/16/2021
NAME: ELEVATIONS AND DETAILS
SHEET: **A 2.0**



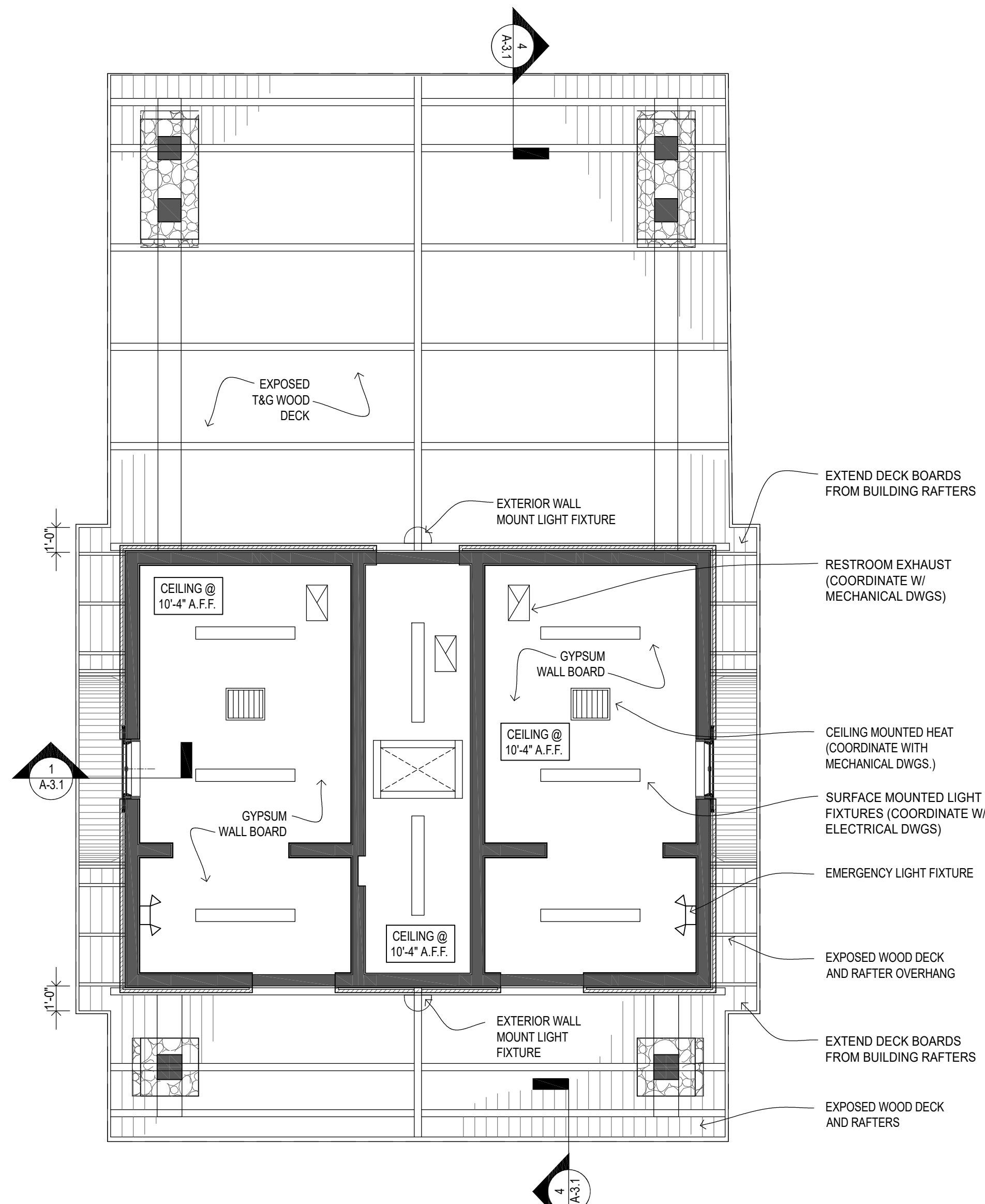
1 FLOOR PLAN
A1.0 SCALE: 1/4" = 1'-0"

FLOOR PLAN SYMBOL KEY:

- 2x6 @ WOOD STUDS AT 16" O.C. (SEE DRAWING A-3.0)
- NEW THIN CUT STONE VENEER (SEE NOTES ON A2.0)

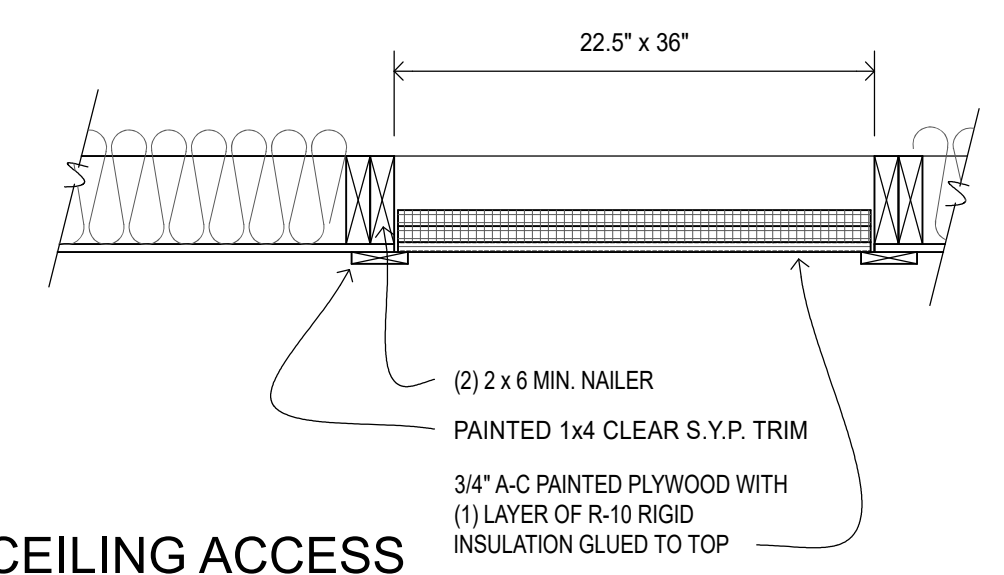
- FLOOR PLAN NOTES:**
- INTERIOR DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF FINISH WALL
 - EXTERIOR DIMENSIONS SHOWN ARE FROM FACE OF FOUNDATION WALL
 - MAXIMUM CROSS SLOPE OF ANY FLOOR SURFACE SHALL NOT EXCEED 1:48
 - INTERIOR CONCRETE FLOOR SLAB: COORDINATE WITH INSTALLER FOR CURING AND PREPARATION. SMOOTH LIGHT TROWEL FINISH. DO NOT HARD TROWEL.
 - EXTERIOR CONCRETE (IN NON-STAMPED FINISH AREAS) TO HAVE LIGHT BROOM FINISH. E.J. - EXPANSION JOINT WITH TOOLED EDGES. C.J. - CONTROL JOINT WITH TOOLED EDGES ON EXTERIOR AND SAW CUT INTERIOR. (SEE FOUNDATION PLAN FOR ADDITIONAL JOINT LOCATIONS)
 - COORDINATE UTILITY AND CONDUIT ROUGH-INS WITH MEP AND SITE DRAWINGS.
 - FOUNDATIONS AND SLABS TO REST ON UNDISTURBED SUITABLE SOIL OR SELECT STRUCTURAL FILL COMPACTED TO 100% MAXIMUM DRY DENSITY. 2,000PSF MINIMUM SOIL BEARING PRESSURE
 - PROVIDE POSITIVE DRAINAGE AROUND AND AWAY FROM BUILDING.

- GENERAL NOTES:**
- GENERAL CONTRACTOR TO USE AND CROSS REFERENCE ALL CONTRACT DOCUMENTS. THEY ARE COMPLEMENTARY TO ONE ANOTHER. THE CONTRACTOR MUST COORDINATE ACROSS ALL CONTRACT DOCUMENTS AND DISCIPLINES INCLUDING PROJECT DRAWINGS, PROJECT SPECIFICATIONS, ADDENDUM, AND WRITTEN DIRECTIVES FROM THE ARCHITECT. REPORT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
 - FURNISH ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR COMPLETION AND OPERATION OF THIS PROJECT IN ACCORDANCE WITH ALL APPLICABLE CODES.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. DISCREPANCIES BETWEEN FIELD DIMENSIONS AND OR CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WORK.
 - CONTRACTOR RESPONSIBLE FOR SAFE DELIVERY AND STORAGE OF ALL MATERIALS.
 - ALTERATIONS, CHANGES OR SUBSTITUTIONS TO THE CONTRACT DOCUMENTS PERFORMED WITHOUT THE OWNERS WRITTEN APPROVAL SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
 - ALL CONTRACTORS AND ALL SUB CONTRACTORS SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AT ALL TIMES TO ENSURE COORDINATION OF BUILDING ELEMENTS THAT ARE DETAILED ACROSS SEVERAL DISCIPLINES.
 - CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NO DIRECTION IS GIVEN OR IMPLIED BY THE DESIGN PROFESSIONAL TO REVIEW, SUPERVISE OR APPROVE CONSTRUCTION MEANS AND METHODS.



2 REFLECTED CEILING PLAN
A1.0 SCALE: 1/4" = 1'-0"

- REFLECTED CEILING NOTES:**
- GYPSUM WALLBOARD CEILING:
 - APPLY ONE LAYER OF 1/2" M.M.R.G.W.B. TO UNDERSIDE OF ALL INTERIOR CEILING JOISTS.
 - SEE PLAN FOR FINISH CEILING HEIGHTS.
 - NEW ATTIC ACCESS DOOR:
 - SEE DETAIL 5A1.0
 - EXPOSED 2x6 T&G DECK BOARDS WITH V-GROOVED EDGES. SOUTHERN YELLOW PINE No. 1
 - COORDINATE WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR CEILING FIXTURE LOCATIONS.



5 CEILING ACCESS
A1.0 SCALE: 1" = 1'-0"

TOILET PARTITIONS: (SEE REQUIRED W.C. CLEARANCES A-1.0)

SOLID THRU-COLOR REINFORCED COMPOSITE FLOOR MOUNTED, OVERHEAD BRACED WITH HEAVY-GAUGE INSTITUTIONAL TYPE 304 STAINLESS STEEL. FULL HEIGHT HARDWARE AND TAMPER RESISTANT FASTENERS. (BOBRICK 1092.67 SierraSeries OR EQUAL).

- 3/4" THICK STILES AND 1/2" THICK PANELS
- SOLID COLOR FOR FULL THICKNESS, NON-GHOSTING GRAFFITI REMOVAL.
- URINAL SCREENS TO BE 18" W x 48" TALL, OVERHEAD BRACE W/ 4" STYLE. BOTTOM OF PARTITION SHALL BE AT AT 12" A.F.F.
- WALL PARTITION SUPPORTS SHALL BE FULL LENGTH.
- STAINLESS STEEL INSTITUTIONAL GRADE HARDWARE TO INCLUDE COAT HOOK, DOOR STOPS, LATCH AND PULLS ON BOTH SIDES OF DOOR.
- FULL HEIGHT SELF CLOSING PARTITION DOOR HINGES
- PROVIDE STAINLESS STEEL IN LINE STYLE STIFFENER PACKET FOR MENS STALL
- 15-YEAR WARRANTY
- PARTITIONS TO MEET ACCESSIBILITY REQUIREMENTS OF ANSI117.1 2017

NEW TOILET ACCESSORIES: (SEE REQUIRED MOUNTING HEIGHTS A-1.1)

- O.P.C.I. - OWNER PROVIDED CONTRACTOR INSTALLED
- CONTRACTOR TO PROVIDE 2x BLOCKING BEHIND ALL WALL AND CEILING MOUNTED TOILET ACCESSORIES AND PARTITIONS.
- TA-1: O.P.C.I. - SINGLE ROLL TOILETTE PAPER DISPENSER
- TA-2: SANITARY NAPKIN DISPOSAL: STAINLESS STEEL 22 GA. RADIUS CORNERS ALL WELDED, PIANO HINGE (BOBRICK B-270 OR APPROVED EQUAL).
- TA-3: 18GA STAINLESS STEEL GRAB BAR 1-1/2" Ø x42"
- TA-4: 18GA STAINLESS STEEL GRAB BAR 1-1/2" Ø x36"
- TA-5: 18GA STAINLESS STEEL GRAB BAR 1-1/2" Ø x18" (VERTICAL)
- TA-6: 18"x36" MIRROR WITH WELDED STAINLESS STEEL FRAME. SHATTER PROOF GLASS (BOBRICK B-2908 OR EQUAL)
- TA-7: O.P.C.I. - PLASTIC FOAM SOAP DISPENSER
- TA-8: ELECTRIC HAND DRIER - XLERATOR, MODEL: THINAIR TS-SB W/ STAINLESS COVER COORDINATE WITH ELECTRICAL DRAWINGS
- TA-9: FIRE EXTINGUISHER: WALL MOUNTED, MINIMUM RATED 2-A, TYPE ABC
- TA-10: BABY CHANGING STATION: KOALA KARE PRODUCTS KB110-SSWM. 4" MAX PROJECTION
- TA-11: 18GA STAINLESS STEEL GRAB BAR 1-1/2" Ø x24" (VERTICAL)

LIFE SAFETY LEGEND

OCCUPANCY SYMBOL	OCCUPANCY CLASSIFICATION	OCCUPANCY LOAD ALLOWABLE AREA PER OCCUPANT
XX		AREA (sqft)

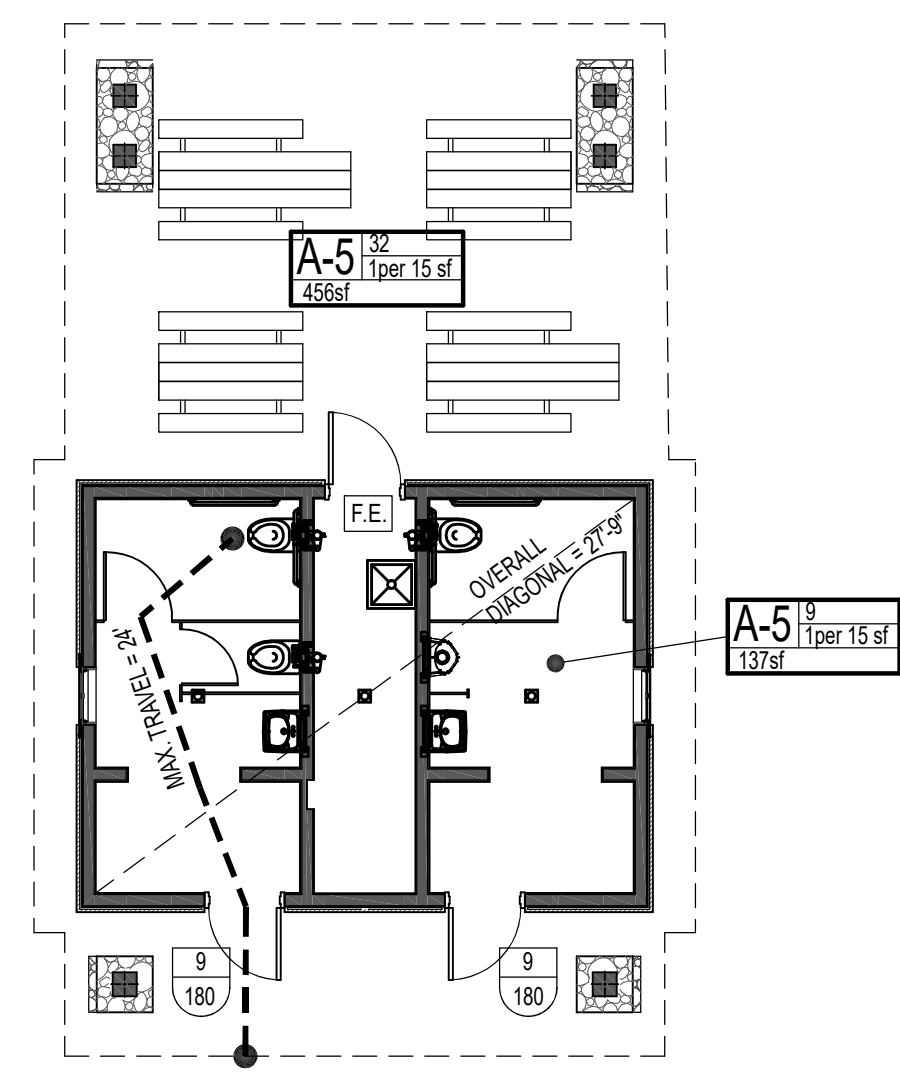
EGRESS OPENING SYMBOL: XX (with arrows) - ACTUAL OCCUPANT LOAD OF OPENING

EGRESS STAIR/ RAMP SYMBOL: XX (with arrows) - ACTUAL OCCUPANT LOAD OF OPENING

OVERALL DIAGONAL OF AREA SERVED: Dashed line

MAXIMUM TRAVEL DISTANCE IN SPACE: Dashed line

F.E. - PORTABLE ABC FIRE EXTINGUISHER



3 LIFE SAFETY PLAN
A1.0 SCALE: 1/8" = 1'-0"

ISO REQUIRED FIRE FLOW

NFF = (C)(O) [1.0 + (X + P)]
 = (870.72)(.85) [1.0 + (0)]
 = 637GPM

WHERE:

NFF = NEEDED FIRE FLOW (GPM)

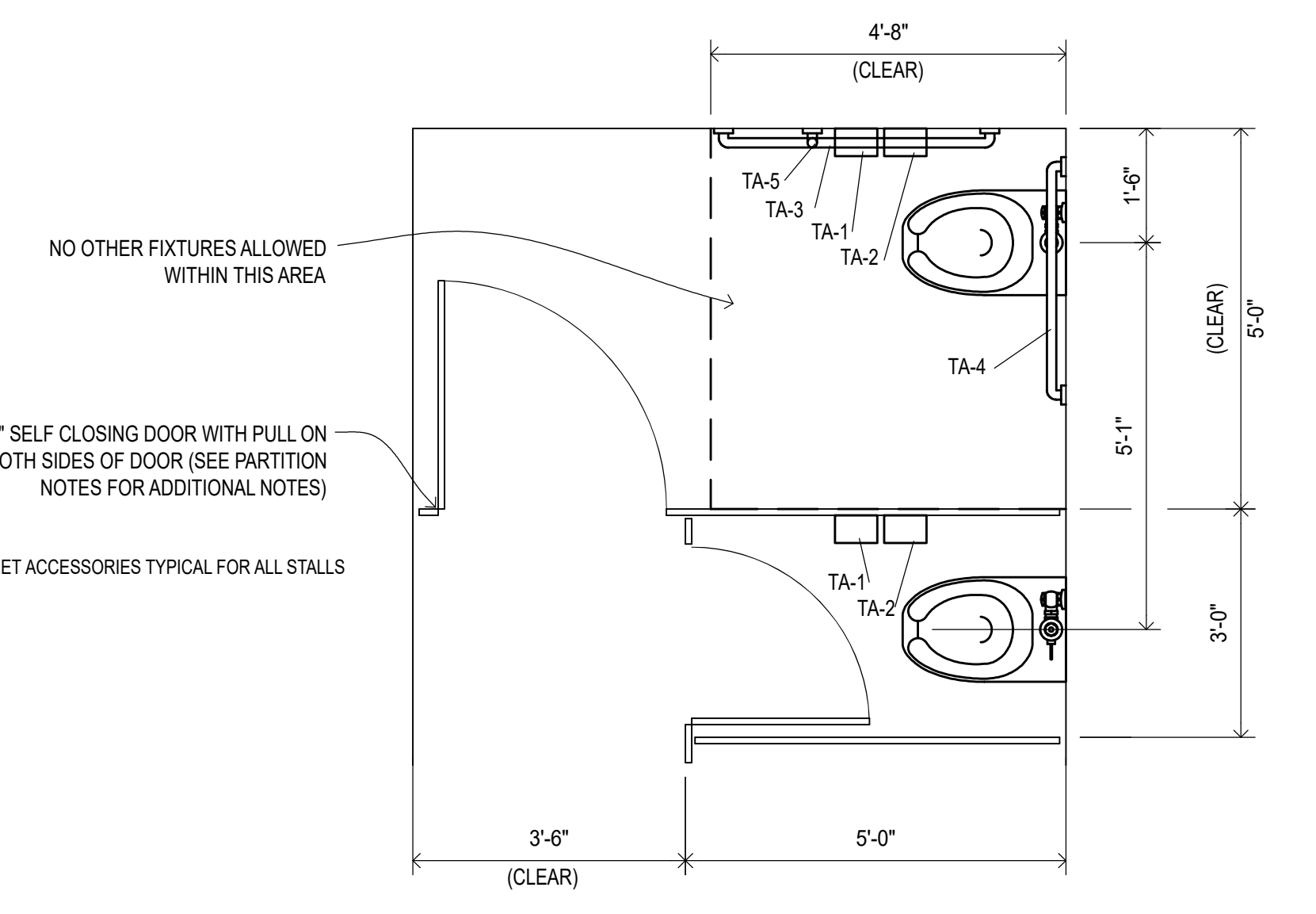
C = 18F (VA)

F = 1.5 FOR WOOD FRAME CONSTRUCTION

A = AFFECTIVE AREA = 1,040sqft. UNDER ROOF
 = 18(1.5)(.1,040)
 = 870.72 (CAN BE ROUNDED TO 750 PER ISO)

O = OCCUPANCY FACTOR = .85 FOR C-2 (LIMITED COMBUSTIBILITY)

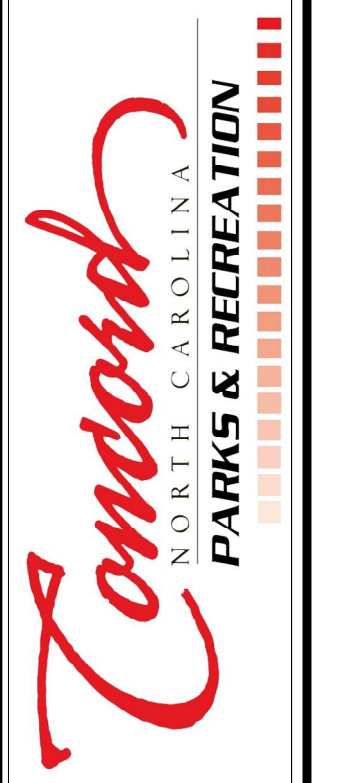
(X + P) = EXPOSURE AND COMMUNICATION FACTOR = 0



4 ENLARGED RESTROOM
A1.0 SCALE: 1/2" = 1'-0"

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	11/15/2021	BHC	ADDENDUM 1



City of Concord Parks and Recreation
Wilson Street Park
 106 Wilson Street, Concord, NC 28026

citizen design
 2408 Commonwealth Ave.
 Charlotte, NC 28205
Architecture • Planning • Staff

DATE: 06/03/2021
 NAME:
 FLOOR PLANS AND SCHEDULES

SHEET:
A 1.0

ORD. #

CAPITAL PROJECT ORDINANCE AMENDMENT
Parks & Recreation Projects-McEachern-Hospital Phase

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby adopted/amended:

SECTION 1. The projects authorized are the projects included for the McEachern-Hospital Phase.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the completion of the projects:

SECTION 4. The following amounts are appropriated for the project:

Expenses/Expenditures

Account	Title	Current Budget	Amended Budget	(Decrease) Increase
8300-5811018				
8300-5811018	McEachern-Hospital Phase	\$1,056,415	\$1,226,208	\$133,389
8300-5811068				
8300-5811068	Future Projects	\$318,027	\$148,234	<u>(\$133,389)</u>
	Total			\$0

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the project agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adoption, copies of this capital projects ordinance shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy, and shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 10th day February, 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

Valerie Kolczynski, City Attorney

Bid Tabulation Sheet Summary - Hwy 73 Water Interconnection to Charlotte Water - City of Concord Project No. 2019-060 Bid No. 2522
Bids Received January 25, 2022, 2:00 PM



CONTRACTOR:	State Utility Contractors	Hall Contracting Corp.	Carolina Siteworks Inc.	Herrin Industrial, Inc.
ADDRESS:	PO Box 5019 Monroe NC 28111	6415 Lakeview Rd. Charlotte NC 28269 5689	PO Box 280 China Grove, NC 28023 45224	PO Box 523 Mt. Pleasant, NC 28124 71184
LICENSE #:	17793			

Item No.	Sect. No.	Description	Estimated Quantity	Unit	Unit Cost	Total Cost	Unit Cost	Total Cost	Unit Cost	Total Cost	Unit Cost	Total Cost
Base Bid												
1	NCDOT 800	Mobilization	1	LS	\$ 33,000.00	\$ 33,000.00	\$ 24,000.00	\$ 24,000.00	\$ 16,142.00	\$ 16,142.00	\$ 7,500.00	\$ 7,500.00
2	NCDOT 801	Construction Surveying	1	LS	\$ 7,500.00	\$ 7,500.00	\$ 7,500.00	\$ 7,500.00	\$ 2,500.00	\$ 2,500.00	\$ 3,500.00	\$ 3,500.00
3	SP-01	Comprehensive Grading	1	LS	\$ 40,000.00	\$ 40,000.00	\$ 35,500.00	\$ 35,500.00	\$ 79,088.00	\$ 79,088.00	\$ 2,500.00	\$ 2,500.00
4	SP-02	Select Material	100	TN	\$ 32.00	\$ 3,200.00	\$ 45.00	\$ 4,500.00	\$ 19.59	\$ 1,959.00	\$ 27.93	\$ 2,793.00
5	SP-03	Rock Removal	100	CY	\$ 75.00	\$ 7,500.00	\$ 60.00	\$ 6,000.00	\$ 0.01	\$ 1.00	\$ 150.00	\$ 15,000.00
6	NCDOT 225	Undercut Excavation	100	CY	\$ 50.00	\$ 5,000.00	\$ 47.00	\$ 4,700.00	\$ 40.00	\$ 4,000.00	\$ 15.00	\$ 1,500.00
7	NCDOT 520	Aggregate Base Course	100	TN	\$ 40.00	\$ 4,000.00	\$ 34.00	\$ 3,400.00	\$ 47.30	\$ 4,730.00	\$ 62.33	\$ 6,233.00
8	SP-04	12" Restrained DIP Water Line (350 pressure class)	200	LF	\$ 290.00	\$ 58,000.00	\$ 280.00	\$ 56,000.00	\$ 119.00	\$ 23,800.00	\$ 134.56	\$ 26,912.00
9	SP-04	12" DI Pipe (Special Class 53) (FLxPE)	18	LF	\$ 800.00	\$ 14,400.00	\$ 200.00	\$ 3,600.00	\$ 811.00	\$ 14,598.00	\$ 172.54	\$ 3,105.72
10	SP-04	12" DI Spool Pipe (Special Class 53) (FLxFL)	17	LF	\$ 700.00	\$ 11,900.00	\$ 250.00	\$ 4,250.00	\$ 473.00	\$ 8,041.00	\$ 314.54	\$ 5,347.18
11	SP-04	12" MJ Long Pattern Solid Sleeve with Restrained Joint	3	LF	\$ 1,100.00	\$ 3,300.00	\$ 328.00	\$ 984.00	\$ 1,007.00	\$ 3,021.00	\$ 783.47	\$ 2,350.41
12	SP-04	10" Restrained DIP Water Line (350 pressure class)	14	LF	\$ 600.00	\$ 8,400.00	\$ 158.00	\$ 2,212.00	\$ 135.00	\$ 1,890.00	\$ 251.46	\$ 3,520.44
13	SP-04	12"x12" Tee (MJ)	4	EA	\$ 1,700.00	\$ 6,800.00	\$ 1,352.00	\$ 5,408.00	\$ 1,784.00	\$ 7,136.00	\$ 1,263.82	\$ 5,055.28
14	SP-04	12"x12" Tee (FL)	2	EA	\$ 2,300.00	\$ 4,600.00	\$ 2,037.00	\$ 4,074.00	\$ 1,951.00	\$ 3,902.00	\$ 1,431.38	\$ 2,862.76
15	SP-04	12" 90-degree Bend (MJ)	4	EA	\$ 1,200.00	\$ 4,800.00	\$ 1,188.00	\$ 4,752.00	\$ 1,115.00	\$ 4,460.00	\$ 969.67	\$ 3,878.68
16	SP-04	12" 90-degree Bend (FL)	2	EA	\$ 1,500.00	\$ 3,000.00	\$ 1,242.00	\$ 2,484.00	\$ 1,169.00	\$ 2,338.00	\$ 1,008.46	\$ 2,016.92
17	SP-04	12" 45-degree Bend (MJ)	4	EA	\$ 1,100.00	\$ 4,400.00	\$ 1,303.00	\$ 5,212.00	\$ 1,030.00	\$ 4,120.00	\$ 905.82	\$ 3,623.28
18	SP-04	10" 90-degree Bend (FL)	2	EA	\$ 1,200.00	\$ 2,400.00	\$ 1,030.00	\$ 2,060.00	\$ 949.00	\$ 1,898.00	\$ 845.22	\$ 1,690.44
19	SP-04	10" 90-degree Bend (MJ)	2	EA	\$ 950.00	\$ 1,900.00	\$ 1,047.00	\$ 2,094.00	\$ 892.00	\$ 1,784.00	\$ 799.15	\$ 1,598.30
20	SP-04	12" Foster Adapter	5	EA	\$ 550.00	\$ 2,750.00	\$ 698.00	\$ 3,490.00	\$ 542.00	\$ 2,710.00	\$ 542.44	\$ 2,712.20
21	SP-04	10" Foster Adapter	2	EA	\$ 525.00	\$ 1,050.00	\$ 468.00	\$ 936.00	\$ 528.00	\$ 1,056.00	\$ 531.66	\$ 1,063.32
22	SP-04	24"x12" DIP Concentric Reducer (MJ)	1	EA	\$ 3,200.00	\$ 3,200.00	\$ 2,665.00	\$ 2,665.00	\$ 2,988.00	\$ 2,988.00	\$ 1,596.50	\$ 1,596.50
23	SP-04	16"x12" DIP Concentric Reducer (MJ)	1	EA	\$ 1,700.00	\$ 1,700.00	\$ 1,101.00	\$ 1,101.00	\$ 1,615.00	\$ 1,615.00	\$ 907.98	\$ 907.98
24	SP-04	12"x10" DIP Concentric Reducer (MJ)	2	EA	\$ 900.00	\$ 1,800.00	\$ 929.00	\$ 1,858.00	\$ 1,666.00	\$ 3,332.00	\$ 759.55	\$ 1,519.10
25	SP-04	12"x8" DIP Concentric Reducer (FL)	2	EA	\$ 1,150.00	\$ 2,300.00	\$ 980.00	\$ 1,960.00	\$ 903.00	\$ 1,806.00	\$ 811.81	\$ 1,623.62
26	SP-04	12" Gate Valve (MJxMJ), incl. valve box	6	EA	\$ 3,750.00	\$ 22,500.00	\$ 3,257.00	\$ 19,542.00	\$ 4,128.00	\$ 24,768.00	\$ 3,303.28	\$ 19,819.68
27	SP-04	12" Gate Valve (FLxFL), incl. valve box when needed	3	EA	\$ 3,400.00	\$ 10,200.00	\$ 3,297.00	\$ 9,891.00	\$ 3,626.00	\$ 10,878.00	\$ 2,928.94	\$ 8,786.82
28	Per plans	12" Dismantling Joint (FLxFL)	3	EA	\$ 2,400.00	\$ 7,200.00	\$ 2,662.00	\$ 7,986.00	\$ 2,500.00	\$ 7,500.00	\$ 5,652.50	\$ 16,957.50
29	SP-04	2" Service Saddle with 2" Corporation Stop	6	EA	\$ 850.00	\$ 5,100.00	\$ 1,803.00	\$ 10,818.00	\$ 874.00	\$ 5,244.00	\$ 990.26	\$ 5,941.56
30	SP-04	1" Copper Pipe from Meter Vault to PSV, incl. tap, corp. stop and shut-off valve	1	EA	\$ 3,200.00	\$ 3,200.00	\$ 1,570.00	\$ 1,570.00	\$ 1,789.00	\$ 1,789.00	\$ 1,761.23	\$ 1,761.23
31	SP-04	Connection to existing water lines	1	LS	\$ 22,500.00	\$ 22,500.00	\$ 2,290.00	\$ 2,290.00	\$ 6,757.00	\$ 6,757.00	\$ 18,232.50	\$ 18,232.50
32	Per plans	12" Pressure Reducing Valve with Solenoid Control (complete, incl. grounding rings and all necessary appurtenances)	1	EA	\$ 33,000.00	\$ 33,000.00	\$ 24,500.00	\$ 24,500.00	\$ 37,986.00	\$ 37,986.00	\$ 24,233.38	\$ 24,233.38
33	Per plans	12" Pressure Sustaining Valve (Cla-Val 50-01) with Slow Close Pilot (complete, incl. grounding rings and all necessary appurtenances)	1	EA	\$ 33,000.00	\$ 33,000.00	\$ 22,600.00	\$ 22,600.00	\$ 35,224.00	\$ 35,224.00	\$ 25,098.69	\$ 25,098.69
34	Per plans	8" Octave Ultrasonic Meter	1	EA	\$ 17,000.00	\$ 17,000.00	\$ 9,400.00	\$ 9,400.00	\$ 19,132.00	\$ 19,132.00	\$ 9,606.92	\$ 9,606.92
35	Per plans	12" Basket Strainer	1	EA	\$ 24,500.00	\$ 24,500.00	\$ 18,000.00	\$ 18,000.00	\$ 19,085.00	\$ 19,085.00	\$ 14,899.75	\$ 14,899.75
36	Per plans	10" Reduced Pressure Assembly (incl. supports)	1	EA	\$ 22,500.00	\$ 22,500.00	\$ 16,000.00	\$ 16,000.00	\$ 27,038.00	\$ 27,038.00	\$ 19,846.49	\$ 19,846.49
37	Per plans	Heated Enclosure for Backflow Assembly	1	EA	\$ 12,500.00	\$ 12,500.00	\$ 7,200.00	\$ 7,200.00	\$ 6,685.00	\$ 6,685.00	\$ 5,660.19	\$ 5,660.19
38	Per plans	Concrete Pad for Heated Enclosure	25	CF	\$ 120.00	\$ 3,000.00	\$ 31.00	\$ 775.00	\$ 34.00	\$ 850.00	\$ 153.88	\$ 3,847.00
39	Per plans	Blue Utility Markers	14	EA	\$ 60.00	\$ 840.00	\$ 50.00	\$ 700.00	\$ 45.00	\$ 630.00	\$ 174.78	\$ 2,446.92
40	SP-05	Water Quality Sampling Station	1	EA	\$ 7,800.00	\$ 7,800.00	\$ 2,825.00	\$ 2,825.00	\$ 4,754.00	\$ 4,754.00	\$ 3,753.86	\$ 3,753.86
41	SP-06	13'L x 8'W x 6'H (I.D.) H-20 Precast Concrete Vault	1	EA	\$ 56,000.00	\$ 56,000.00	\$ 38,600.00	\$ 38,600.00	\$ 28,717.00	\$ 28,717.00	\$ 49,493.03	\$ 49,493.03
42	SP-06	6'L x 6'W x 6'H (I.D.) H-20 Precast Concrete Vault	2	EA	\$ 35,000.00	\$ 70,000.00	\$ 28,100.00	\$ 56,200.00	\$ 24,774.00	\$ 49,548.00	\$ 23,156.48	\$ 46,312.96
43	Per plans	12" Adjustable Pipe Supports	8	EA	\$ 450.00	\$ 3,600.00	\$ 200.00	\$ 1,600.00	\$ 297.00	\$ 2,376.00	\$ 370.68	\$ 2,965.44
44	NCDOT 654	Asphalt Plant Mix, Pavement Repair	10	TN	\$ 400.00	\$ 4,000.00	\$ 400.00	\$ 4,000.00	\$ 500.00	\$ 5,000.00	\$ 361.63	\$ 3,616.30
45	SP-07	Flowable Fill (Excavatable)	30	CY	\$ 210.00	\$ 6,300.00	\$ 225.00	\$ 6,750.00	\$ 250.00	\$ 7,500.00	\$ 361.63	\$ 10,848.90
46	NCDOT 1605	Silt Fence	230	LF	\$ 10.00	\$ 2,300.00	\$ 5.00	\$ 1,150.00	\$ 4.00	\$ 920.00	\$ 8.31	\$ 1,911.30
47	NCDOT 1632	1/4" Hardware Cloth	20	LF	\$ 20.00	\$ 400.00	\$ 10.00	\$ 200.00	\$ 7.00	\$ 140.00	\$ 63.23	\$ 1,264.60
48	NCDOT 1610	Sediment Control Stone	4	TN	\$ 75.00	\$ 300.00	\$ 50.00	\$ 200.00	\$ 54.00	\$ 216.00	\$ 264.65	\$ 1,058.60
49	NCDOT 1660	Seeding and Mulching	0.3	AC	\$ 3,000.00	\$ 900.00	\$ 3,000.00	\$ 900.00	\$ 3,378.00	\$ 1,013.40	\$ 8,323.25	\$ 2,496.98
50	SP-08	Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 2,500.00	\$ 2,500.00	\$ 1,351.00	\$ 1,351.00	\$ 4,116.25	\$ 4,116.25
51	SP-09	Electric Work	1	LS	\$ 63,000.00	\$ 63,000.00	\$ 41,200.00	\$ 41,200.00	\$ 27,973.00	\$ 27,973.00	\$ 56,250.00	\$ 56,250.00
Estimated Base Cost						\$673,540.00		\$498,137.00		\$531,989.40		\$471,636.98
10% Contingency						\$67,354.00		\$49,813.70		\$53,198.94		\$47,163.70
Total Estimated Cost						\$740,894.00		\$547,950.70		\$585,188.34		\$518,800.67
Bid Security (5%)						Yes		Yes		Yes		Yes
Irregularities (see highlighted areas on form)						None.		Yes		None.		None.

Enrique Alberto Blot
 ENGINEER
 1-25-2022

CERTIFICATION: This is certified to be an accurate tabulation of bids received for the project.

Mathematical error calculating contingency did not affect results

RESOLUTION

NOW, THEREFORE, BE IT RESOLVED by the City Council for the City of Concord, North Carolina, that:

Section 1. All pooling financial institutions (list attached), the *Financial Institutions*, are designated as a depository for the funds of the City, *the Corporation*, and to provide other financial accommodations indicated in this resolution.

Section 2. This resolution shall continue to have effect until express written notice of its rescission or modification has been received and recorded by the Financial Institution. Any and all prior resolutions adopted by the Corporation and certified to the Financial Institution as governing the operation of this Corporation's account(s), are in full force and effect, until the Financial Institution receives and acknowledges an express written notice of its revocation, modification or replacement. Any revocation, modification or replacement of a resolution must be accompanied by documentation, satisfactory to the Financial Institution, establishing the authority for the changes.

Section 3. The signature of an Agent on this resolution is conclusive evidence of their authority to act on behalf of the Corporation. Any Agent, so long as they act in a representative capacity as an Agent of the Corporation, is authorized to make any and all other contracts, agreements, stipulations and orders which they may deem advisable for the effective exercise of the powers indicated on page one, from time to time with the Financial Institution, subject to any restrictions on this resolution or otherwise agreed to in writing.

Section 4. All transactions, if any, with respect to any deposits, withdrawals, rediscounts and borrowings by or on behalf of the Corporation with the Financial Institution prior to the adoption of the resolution are hereby ratified, approved and confirmed.

Section 5. The Corporation agrees to the terms and conditions of any account agreement, properly opened by any Agent of the Corporation. The Corporation authorizes the Financial Institution, at any time, to charge the Corporation for all checks, drafts, or other orders, for the payment of money, that are drawn on the Financial Institution, so long as they contain the required number of signatures for this purpose.

Section 6. The Corporation acknowledges and agrees that the Financial Institution may furnish at its discretion automated access devices to Agents of the Corporation to facilitate those powers authorized by this resolution or other resolutions in effect at the time of issuance. The term "automated access device" includes, but is not limited to, credit cards, automated teller machines (ATM), and debit cards.

Section 7. The Corporation acknowledges and agrees that the Financial Institution may rely on alternative signature and verification codes issued to or obtained from the Agent named on this resolution. The term "alternative signature and verification codes" includes, but is not limited to, facsimile signatures on file with the Financial Institution, personal identification numbers (PIN), and digital signatures. If a facsimile signature specimen has been provided on this resolution, (or that are filed separately by the Corporation with the Financial Institution from time to time) the Financial Institution is authorized to treat the facsimile signature as the signature of the Agent(s) regardless of by whom or by what means the facsimile signature may have been affixed so long as it resembles the facsimile signature specimen on file. The Corporation authorizes each Agent to have custody of the Corporation's private key used to create a digital signature and to request issuance of a certificate listing the corresponding public key. The Financial Institution shall have no responsibility or liability for unauthorized use of alternative signature and verification codes unless otherwise agreed in writing.

Section 8. Corporation Agents.

NAME
Jessica Jones
Kristin Roe
Madison Channing

TITLE
Finance Director
Deputy Finance Director
Accounting Operations Manager

Section 9. This resolution shall be effective as of adopted date.

Adopted this 10th day of February, 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST:

Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

BANKS UNDER THE POOLING METHOD AS OF 12/06/2021

NAME OF BANK	CORPORATE OFFICE
AMERICAN NATIONAL BANK & TRUST	DANVILLE, VA
ATLANTIC UNION BANK	RICHMOND, VA
BANK OF AMERICA, N.A.	CHARLOTTE
BANK OF TENNESSEE	KINGSPORT, TN
BANK OZK	LITTLE ROCK, AR
BENCHMARK COMMUNITY BANK	KENBRIDGE, VA
BLUEHARBOR BANK	MOORESVILLE
BRANCH BANKING & TRUST COMPANY (NOW TRUIST)	CHARLOTTE
CARTER BANK AND TRUST	MARTINSVILLE, VA
CHASE BANK	COLUMBUS, OH
COASTAL BANK & TRUST	JACKSONVILLE
COMMUNITY FIRST BANK	WALHALLA, SC
DOGWOOD STATE BANK	RALEIGH
F & M BANK (FARMERS & MERCHANTS BANK)	SALISBURY
FIDELITY BANK	FUQUAY-VARINA
FIFTH THIRD BANK	CINCINNATI, OH
FIRST BANK	SOUTHERN PINES
FIRST BANK & TRUST OF VA	ABINGDON, VA
FIRST CAROLINA BANK	ROCKY MOUNT
FIRST CITIZENS BANK & TRUST	RALEIGH
FIRST COMMUNITY BANK	BLUEFIELD, VA
FIRST HORIZON BANK	MEMPHIS, TN
FIRST NATIONAL BANK	HERMITAGE, PA
HOMETRUST BANK	ASHEVILLE
KS BANK	SMITHFIELD
LIFESTORE BANK	WEST JEFFERSON
LUMBEE GUARANTY BANK	PEMBROKE
M & F BANK (MECHANICS & FARMERS BANK)	DURHAM
NORTH STATE BANK	RALEIGH
PARK NATIONAL BANK	NEWARK, OH
PEOPLES BANK	NEWTON

PINNACLE BANK	NASHVILLE, TN
PNC BANK	PITTSBURGH, PA
PROVIDENCE BANK	ROCKY MOUNT
REGIONS BANK	BIRMINGHAM, AL
ROXBORO SAVINGS BANK	ROXBORO
SELECT BANK & TRUST	DUNN
SKYLINE NATIONAL BANK	INDEPENDENCE, VA
SOUTH STATE BANK	COLUMBIA, SC
SOUTHERN BANK & TRUST CO.	MOUNT OLIVE
SOUTHERN FIRST BANK	GREENVILLE, SC
SUNTRUST BANK (NOW TRUIST)	ATLANTA, GA
SURREY BANK	MOUNT AIRY
TD BANK, NA	CHERRY HILL, NJ
TOUCHSTONE BANK	PRINCE GEORGE, VA
TOWNEBANK	SUFFOLK, VA
UNION BANK	GREENVILLE
UNITED BANK	CHARLESTON, WV
UNITED COMMUNITY BANK	BLAIRSVILLE, GA
US BANK	MINNEAPOLIS, MN
UWHARRIE BANK	ALBEMARLE
WAKE FOREST FEDERAL S&L	WAKE FOREST
WELLS FARGO BANK, N.A.	SAN FRANCISCO, CA
Last updated 12/06/2021	

ORD.

GRANT PROJECT ORDINANCE
2022 FAMILY SELF SUFFICIENCY PROGRAM GRANT

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following grant project ordinance is hereby ordained:

SECTION 1. The project authorized is the Family Self Sufficiency Program grant, which is a program to provide supportive services to Public Housing and Housing Choice Voucher Family Self-Sufficiency participants in an effort to achieve economic self-sufficiency.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation of the project within terms of a grant agreement with the U.S. Department of Housing and Urban Development.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the project:

		<u>Current</u>	<u>Amended</u>	<u>Increase</u>
2022 FSS REVENUE	697-4703406	\$0	\$56,640	\$56,640
	697-4703406			
	Total Revenue			\$56,640

SECTION 4. The following amounts are appropriated for the project:

		<u>Current</u>	<u>Amended</u>	<u>Increase</u>
FICA	9108-5181000	\$0	\$2,525	\$2,525
	9108-5181000			
Retirement-General	9108-5182000	\$0	\$3,745	\$3,745
	9108-5182000			
Group Insurance	9108-5183000	\$0	\$16,104	\$16,104
	9108-5183000			
401K Contribution	9103-5187000	\$0	\$1,320	\$1,320
	9103-5187000			
Administrative Salaries	9103-5411000	\$0	\$33,000	\$32,946
	9103-5411000			
	Total Expenditures			\$56,640

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adopted, copies of this grant project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 10th day of September 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

ORD. #

CAPITAL PROJECT ORDINANCE AMENDMENT
Parks & Recreation Projects-Caldwell Park

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby adopted/amended:

SECTION 1. The projects authorized are the projects included for Caldwell Park.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the completion of the projects:

		<u>Revenues</u>		
<u>Account</u>	<u>Title</u>	<u>Current Budget</u>	<u>Amended Budget</u>	<u>(Decrease) Increase</u>
420-4603000				
420-4603000	Grant Proceeds	\$998,960	\$1,398,960	\$400,000
				<u>\$400,000</u>

SECTION 4. The following amounts are appropriated for the project:

		<u>Expenses/Expenditures</u>		
<u>Account</u>	<u>Title</u>	<u>Current Budget</u>	<u>Amended Budget</u>	<u>(Decrease) Increase</u>
8300-5811002				
8300-5811002	Caldwell Park	\$1,738,960	\$2,138,960	\$400,000
		Total		<u>\$400,000</u>

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the project agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adoption, copies of this capital projects ordinance shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy, and shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 10th day of February, 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

Valerie Kolczynski, City Attorney



Parks and Recreation Trust Fund Grants Will Fund Projects Across North Carolina

RALEIGH

Jan 14, 2022

The North Carolina Department of Natural and Cultural Resources announced that the N.C. Parks and Recreation Trust Fund (PARTF) Authority has approved \$28.6 million in capital improvement projects and land acquisitions for state parks and an additional \$13.6 million in grants to fund 41 local parks and recreation projects across the state.

The second round of local grants this fiscal year was made possible in November with the recently enacted state budget's allocation of an additional \$101 million to PARTF to support state and local parks projects, for a total of \$135 million over two years. The North Carolina Parks and Recreation Trust Fund Authority had previously approved an initial 14 local grants for the year in September 2021 using its recurring annual appropriation.

"The new state budget's increased funding for parks and recreation will make more recreational opportunities available across the state," said Reid Wilson, secretary of the N.C. Department of Natural and Cultural Resources. "As we've seen since the beginning of the pandemic, North Carolina families need more parks, trails, greenways, and facilities to get outside and active."

Local communities applied for the grants to fund land acquisition and development and renovation of public park and recreation areas. The maximum grant awarded for a single project under the program was \$500,000. Awardees must match funds at least dollar-for-dollar for the awarded amount.

"These grants will help us continue making outdoor recreation opportunities available to more people in all areas of the state," Wilson continued. "Outdoor activity produces important physical and mental health benefits that are essential for quality of life. The members of the Parks and Recreation Trust Fund Authority and State Parks staff did excellent work in delivering these benefits to communities so soon after the budget became law."

The Parks and Recreation Trust Fund is administered through the state's Division of Parks and Recreation.

At the Jan. 6 meeting, \$23.1 million was approved for capital and maintenance projects at Kerr Lake and Fort Fisher Recreation Areas and Hammocks Beach, Morrow Mountain, Medoc Mountain, Eno River, Mayo River, Carvers Creek, Chimney Rock and Stone Mountain State Parks.

The Authority also approved \$5.5 million for land acquisitions at Baker's Lake State Natural Area and Elk Knob, Eno River, Hanging Rock, Mount Mitchell, Morrow Mountain, Stone Mountain, and William B. Umstead State Parks.

The projects include:

- \$90,000 for fishing pier restoration and repairs at Carvers Creek State Park (Cumberland County)
- \$400,000 for restroom renovations at Chimney Rock State Park (Rutherford County)

- \$250,000 for beach access boardwalk repairs at Fort Fisher State Recreation Area (New Hanover County)
- \$1 million to fund Recreational Trails Program projects (statewide)

Land acquisitions include:

- \$1.1 million for lands west of the peak area at Elk Knob State Park (Watauga County)
- \$700,000 for a western addition to Morrow Mountain State Park (Stanly County)
- \$850,000 for a large ridge that dominates the vista from the campground at Stone Mountain State Park (Wilkes and Alleghany counties)
- \$553,000 for a tract in Orange County to join Eno River State Park

Nov. 19, 2021 PARTF meeting local grant recipients and amounts are as follows:

Grantee	County	Project Name	Funds Awarded
Asheboro	Randolph	Zoo City Sportsplex	\$500,000
Beaufort County	Beaufort	Wright's Creek Phase II	\$249,895
Belmont	Gaston	Belmont Recreation Center	\$500,000
Blowing Rock	Watauga	Memorial Park Enhancement	\$500,000
Bogue	Carteret	Bogue Town Park	\$263,000
Cabarrus County	Cabarrus	Rob Wallace Park Expansion	\$100,000
Canton	Haywood	Chestnut Mountain Park	\$500,000
Clay County	Clay	Clay County Sports Complex	\$500,000
Concord	Cabarrus	Marvin Caldwell Park	\$400,000
Denton	Davidson	Harrison Park Community Center with Amenities	\$400,000
Elk Park	Avery	Jumping Pillow & Basketball Renovation (Lucille Winters Park)	\$26,136
Fair Bluff	Columbus	Riverside Park Acquisition	\$392,500
Forest City	Rutherford	Park Square Depot	\$450,000
Forsyth County	Forsyth	Belews Lake Park	\$500,000
Greenville	Pitt	Wildwood Park	\$481,350

Henderson	Vance	Williams & Montgomery Street Park	\$357,497
High Point	Gulford	City Lake Park Phase I Renovations	\$500,000
Hildebran	Burke	New Town Park Development	\$289,700
Jacksonville	Onslow	City of Jacksonville Marina	\$110,000
Jones County	Jones	Brock Mill Pond Enhancement	\$400,000
Lawndale	Cleveland	Lawndale Park	\$415,000
Lee County	Lee	Kiwanis Children's Park Phase II	\$209,000
Lumberton	Robeson	Pennington Complex - Phase III	\$400,000
Madison	Rockingham	Madison River Park	\$241,440
Mooreville	Iredell	Liberty Park Renovation	\$500,000
Oak Ridge	Guilford	Whitaker Park	\$490,000
Ocean Isle Beach	Brunswick	Town Center Park Phase II	\$395,289
Perquimans County	Perquimans	Perquimans Recreation Park Tennis Courts	\$65,600
Ramseur	Randolph	Deep River State Trail and Blueway	\$128,922
Randleman	Randolph	Stout Street Park Improvements	\$354,991
Rowan County	Rowan	Woodleaf Community Park Phases I & II	\$354,346
Shallotte	Brunswick	Price Park Landing at Mulberry Park	\$500,000
Shelby	Cleveland	Shelby Rail Trail Depot Park Segment - Phase I	\$420,000
Simpson	Pitt	Simpson Walking Trail Improvements	\$22,500
Spruce Pine	Mitchell	Brad Ragan Park Improvements	\$100,000
Tabor City	Columbus	Tabor City Athletic Complex	\$500,000
Wake County	Wake	Beech Bluff County Park	\$425,000
Waynesville	Haywood	Richland Creek Park and Greenway	\$232,750
Wilkes County	Wilkes	Bathhouse and Picnic Shelter (River's Edge Park)	\$191,194

Wilkesboro	Wilkes	Cub Creek Park Expansion	\$256,250
Youngsville	Franklin	Luddy Park Renovation	\$29,223
		Total	\$13,651,583

About the North Carolina Department of Natural and Cultural Resources

The N.C. Department of Natural and Cultural Resources (NCDNCR) is the state agency with a vision to be the leader in using the state's natural and cultural resources to build the social, cultural, educational and economic future of North Carolina. NCDNCR's mission is to improve the quality of life in our state by creating opportunities to experience excellence in the arts, history, libraries and nature in North Carolina by stimulating learning, inspiring creativity, preserving the state's history, conserving the state's natural heritage, encouraging recreation and cultural tourism, and promoting economic development.

NCDNCR includes 27 historic sites, seven history museums, two art museums, three science museums, three aquariums and Jennette's Pier, 41 state parks and recreation areas, the N.C. Zoo, the N.C. Symphony Orchestra, the State Library, the State Archives, the N.C. Arts Council, the African American Heritage Commission, State Preservation Office and the Office of State Archaeology, and the Division of Land and Water Stewardship. For more information, please visit www.ncdcr.gov (https://urldefense.com/v3/_https://u7061146.ct.sendgrid.net/ls/click?upn=TeZUXWpUv-2B6TCY38pVLo9hEF3YyDcLHQyd6JpKKQFmg-3DvFQ7_DC4y3DdDCeEScwRgaDHqvS-2FqMx-2BgJxb3HJXAFGYL-2F9fngchFCNDt6F5lque7hE9H08Eh6EPN6GYOfWNqK4wGDCpdEevhBhPYPWa65eS5jtz7cjZtLUojgvhn4cq11v7roJkaUVrDaDyCTPr2Fvblw8XIIPtrsGkMQN6QtPWWrv3Nak2DOWZ72yKrCaZtryOM3BCfm7ASqd1blHxAilDk84EzWuUh-2BQL7BS9x9ebKwuDrpsRzn5X0iIHSM7byR6WWkkeW3yh1QBWLUnk-2BE4wSytugaDIDCoSrfCVD2BxV39psHXNRNRoxoNdLHi21mHVRE828CCobDXDK72-2BDfvtRvpDlyXkw8i9me8H94-3D_!IHymSTc)

This press release is related to:

Across DNCR

[\(/agencydepartment/across-dncr\)](/agencydepartment/across-dncr)

Grants and Gifts

[\(/news/press-releases?field_press_release_terms_target_id=2823\)](/news/press-releases?field_press_release_terms_target_id=2823)

Historic Preservation

[\(/news/press-releases?field_press_release_terms_target_id=2852\)](/news/press-releases?field_press_release_terms_target_id=2852)

<https://www.ncdcr.gov/news/press-releases/2022/01/14/parks-and-recreation-trust-fund-grants-will-fund-projects-across-north-carolina>

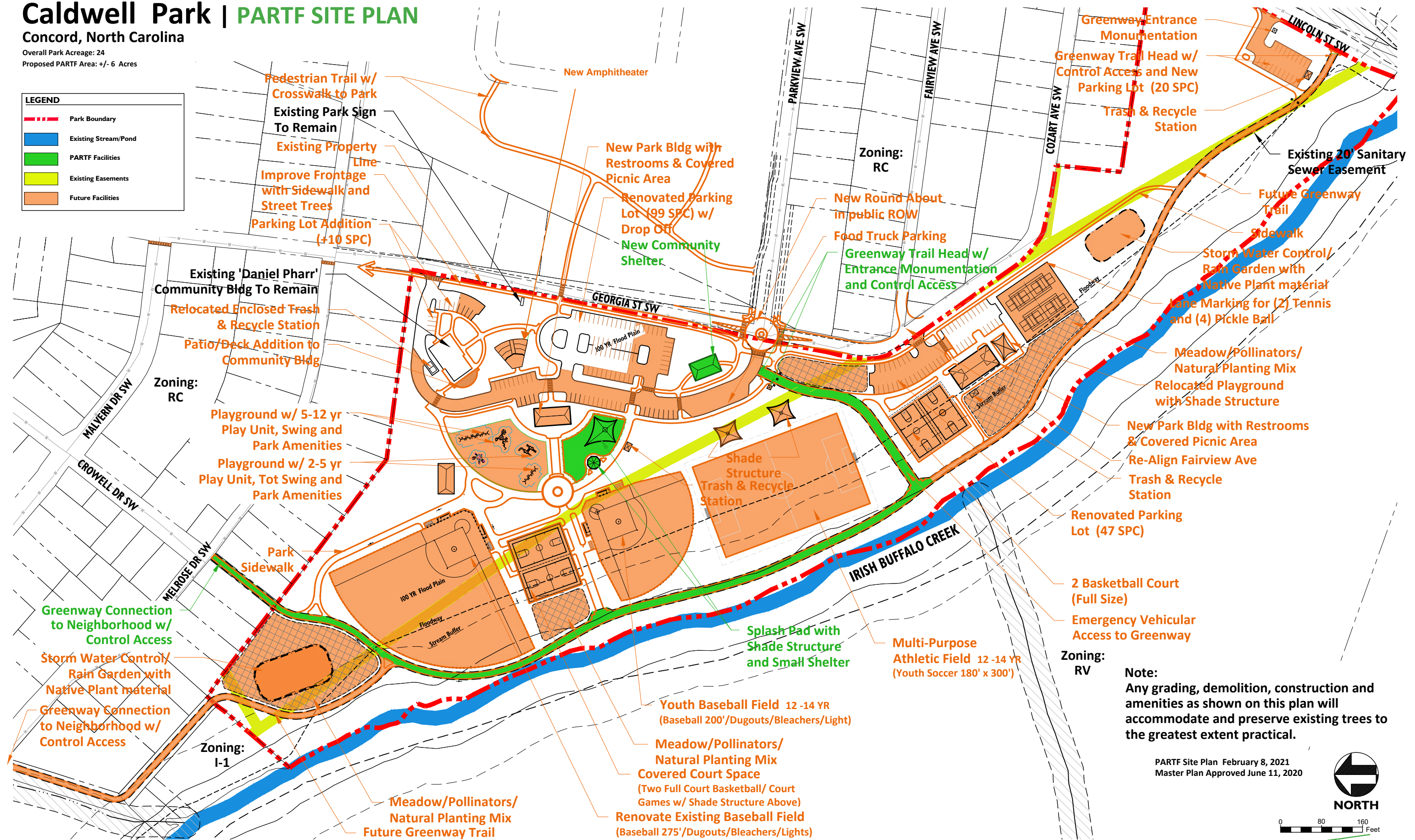
Caldwell Park | PARTF SITE PLAN

Concord, North Carolina

Overall Park Acreage: 24
Proposed PARTF Area: +/- 6 Acres

LEGEND

- - - Park Boundary
- █ Existing Stream/Pond
- █ PARTF Facilities
- █ Existing Easements
- █ Future Facilities



Note:
Any grading, demolition, construction and amenities as shown on this plan will accommodate and preserve existing trees to the greatest extent practical.

PARTF Site Plan February 8, 2021
Master Plan Approved June 11, 2020





MARVIN CALDWELL PARK

Parks and Recreation Trust Fund (PARTF) Application

May 3, 2021




Checklist to Submit a Complete Application

Use this checklist to ensure that all required documents, as well as the correct number of paper copies for each document, are included with your digital application. Paper clip the copies of each item on the checklist together. Do not use staples. Keep a copy of the application for your files. Each application must have the digital items on a flash drive in PDF format and must accompany paper copies as per the guidelines in the table below.

Applicant: _____	Project Title: _____			
Required for All Applicants (File Name)	Page Reference	Number of Required Copies		Included ✓
		Paper	Digital	
1. Checklist for Submitting a Complete Application (Checklist)	6	1	1	
2. Applicant's Basic Facts and Assurances (Basic facts)	7	1	1	
3. Description and Justification for the Project (Justification)	8	20	1	
4. Site Plan: for projects to construct or renovate facilities (Site plan) OR Conceptual Plan: for land acquisition only projects (Site plan)	8–10	20	1	
5. Project Costs (Project costs)	11–12	1	1	
6. Source of Matching Funds (Matching funds)	14	1	1	
7. Site Vicinity Map (Site vicinity)	15	1	1	
8. Scoring System (Scoring system)	22–28	1	1	
Required for Projects to Construct or Renovate Facilities				
9. Attorney's Certification of Site Control (Site control) <i>Does not apply if the site will be acquired with this PARTF project</i>	13	1 <i>if applicable</i>	1	
10. Environmental Review (ENV review)	20–21	1	1	
11. Local Government & School Joint-Use Agreement (Joint use) <i>Only applies to facilities located on school property</i>	4	1 <i>if applicable</i>	1	
Required for Projects to Acquire Property (including acquisition with a waiver)				
12. Acquisition Form (Acquisition form)	18	1	1	
13. Appraisal, Property Tax Value or estimate by an appraiser (Land value)	17	1	1	
14. Legal Description of the Land (Land description)	19	1	1	
15. History of Conveyance for donated land (Conveyance)	17	1 <i>if applicable</i>	1	
Documents for the Scoring System				
16. Master Plan for the Park (Master plan)	22, 30	1 <i>if available</i>	1	
17. Parks and Recreation Systemwide Plan for the Jurisdiction (Comp plan)	23, 31	1 <i>if available</i>	1	
18. Capital Improvement Plan for Parks and Recreation (CIP)	23, 31	1 <i>if available</i>	1	
19. Documentation of Surveys or Public Involvement (Public meeting), (Survey), (Civic Groups), (Advisory board)	24, 32	1 <i>if available</i>	1	
20. Local Board Minutes or Resolution Adopting of Planning Documents	22–25	1 <i>if available</i>	1	

Instructions for submitting digital copies: Applicant must submit a single flash drive that includes each file as a separate PDF. Each file should be named like the (file name) denoted on the checklist.

N.C. Parks and Recreation Trust Fund (PARTF): 2021 Basic Facts and Assurances

Local Government Name: <u>CITY OF CONCORD</u>	
Federal Employee I.D. Number: <u>56-6001207</u>	County: <u>CABARRUS</u>
Local Government Contact Person for Grant* Name: Mr./Ms. <u>Mr. Jason T. Pauling</u> Title: <u>Senior Park Planner</u> Organization: <u>Concord Parks & Recreation</u> Mailing Address: <u>PO Box 308</u> City: <u>Concord</u> State: <u>NC</u> Zip: <u>28026</u> Telephone: <u>(704) 920-5641</u> E-mail: <u>paulingj@concordnc.gov</u>	Local Government Manager Name: Mr./Ms. <u>Mr. Lloyd Wm. Payne, Jr.</u> Title: <u>City Manager</u> Organization: <u>City of Concord</u> Mailing Address: <u>PO Box 308</u> City: <u>Concord</u> State: <u>NC</u> Zip: <u>28026</u> Telephone: <u>(704) 920-5215</u> E-mail: <u>paynel@concordnc.gov</u>
<i>*must be an employee of the sponsoring local government.</i>	
Chief Elected Official Name: Mr./Ms. <u>Mr. William C. Dusch</u> Title: <u>Mayor</u> Mailing Address: <u>PO Box 308</u> City: <u>Concord</u> State: <u>NC</u> Zip: <u>28025</u>	Type of Project: <input type="checkbox"/> Land Acquisition Only <input checked="" type="checkbox"/> Development Only (construction or renovation) <input type="checkbox"/> Land Acquisition and Development
Site Control (check all that apply): <input checked="" type="checkbox"/> Owned by local government <input type="checkbox"/> To be obtained with this land acquisition project <input type="checkbox"/> Has been obtained for this land acquisition project using an approved waiver that expires on this date: _____ <input type="checkbox"/> Leased by applicant for 25 years or more <input type="checkbox"/> Easement <input type="checkbox"/> Owned by school board	Costs rounded to nearest dollar: PARTF funds requested: \$ <u>400,000</u> .00 Local government's matching funds: \$ <u>497,710</u> .00 Total cost of project: \$ <u>897,710</u> .00
Recreation Resources Service (RRS) regional consultant: <u>Rashawn King</u>	
Project Title: <u>MARVIN CALDWELL PARK</u>	
Brief description of the proposed project: Caldwell Park is one of Concord's most historic parks. City Council adopted a new master plan for the park in June of 2020. The master plan's goals include addressing safety, connectivity, and programming/athletic capabilities. The City is seeking PARTF funding for four (4) significant items including a new greenway connection and first section of Irish Buffalo Creek Greenway, a new Splash Pad, and relocated/renovated facilities including a shelter and amphitheater.	
Certification and Approval by Local Governing Board I hereby certify the information contained in the attached application is true and correct and the required dollar-for-dollar matching funds will be available during the project period. This application has been approved by the local governing board.	
Chief Elected Official: <div style="display: flex; justify-content: space-between; align-items: flex-end;"> <div style="text-align: center;"> <u>William C. Dusch</u> <small>Print or Type Name</small> </div> <div style="text-align: center;"> <u>Mayor</u> <small>Title</small> </div> <div style="text-align: center;">  <small>Signature</small> </div> </div>	
<i>If two local governments are applying together, this form must be completed and signed by each local government. One applicant must be identified by adding "primary sponsor" in the "Local Government Name" section.</i>	
THIS FORM MUST BE COMPLETE IN ITS ENTIRETY FOR YOUR APPLICATION TO BE CONSIDERED	

DESCRIPTION AND JUSTIFICATION

Marvin Caldwell Park – City of Concord

DESCRIPTION:

Marvin Caldwell Park located at 362 Georgia Street SW, is one of Concord's most historic parks, originally developed as Echo Park with a federal LWCF grant in 1973 (Project #37-00295). A new master plan for Caldwell Park was adopted by City Council in June of 2020, which along with the Comprehensive Parks and Recreation Master Plan, lays out a new vision and schematic design for the park that seeks to address equity and inclusivity, safety, connectivity, and programming capabilities.

In May of 2019, City Council adopted the Open Space Connectivity Analysis and Greenway Master Plan, which identifies the Irish Buffalo Creek Corridor for future greenway trail development. Irish Buffalo Creek is also a designated corridor of the Carolina Thread Trail, a 15-county regional trail plan in North and South Carolina. City Council has demonstrated a commitment to develop new amenities, replace/renovate existing facilities, and build the greenway within Caldwell Park as a high priority in the 5-year Capital Improvement Plan (CIP). The City is seeking a Parks and Recreation Trust Fund grant for four (4) main elements of the park as follows:

1. Irish Buffalo Creek Greenway – This application includes the City's first section of Irish Buffalo Creek Greenway, a 0.4-mile segment from Melrose Drive within the Logan Community to the main parking lot of the park located on Georgia Street. It will be a 10-foot wide, asphalt greenway.
2. New Splash Pad – Caldwell Park is the ideal location for the City's first splash pad, the location of which is ideal with existing utility access and positive drainage. It will be a fully inclusive feature of the park, and will immediately activate a key area of the park for summer camps.
3. Robert Mathis Amphitheater – The location and condition of the existing amphitheater limits its use, accessibility and visibility. Based on public feedback, moving the amphitheater closer to the Daniel Pharr Center will provide better restroom access, and other improvements/upgrades to the facility.
4. Logan Optimist Shelter – The existing shelter is heavily used, but has many limitations including access and safety, and not in a good location with access to other parts of the park. The master plan proposes to build a new 40-foot by 40-foot shelter where it can host events overlooking a large multi-use field. It will also include utilities and feature tables and grills.

JUSTIFICATION:

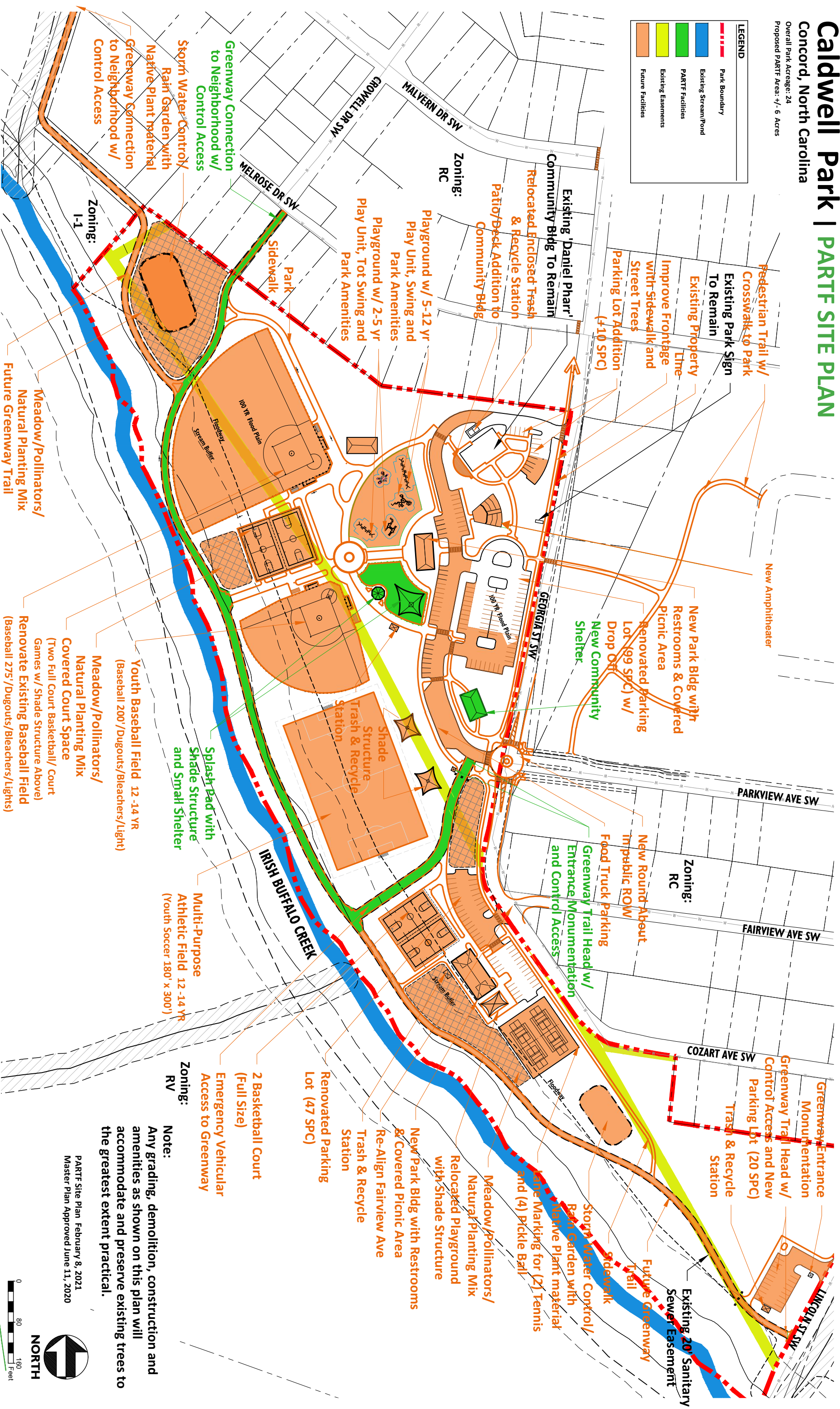
The City of Concord is committed to the enhancement of our park system by creating amenities that are safe, equitable, well-connected to surrounding neighborhoods, utilized often by the general public, and programmed for events, classes and recreation. City Council supports these efforts through their adopted 3-year strategic goals, and by adopting the Caldwell Park Master Plan, the Open Space Connectivity Analysis, and the Comprehensive Park Plan for the City. All of these efforts support improvements and renovations to our existing system, new amenities within the parks, and greenways throughout the City. The future development of Caldwell Park will bolster the image of the Parks and Recreation Department, and set a new standard for the City, and these improvements will truly improve the quality of life for area residents.

Caldwell Park | PARTF SITE PLAN

Concord, North Carolina

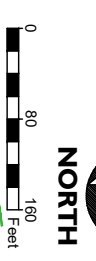
Overall Park Acreage: 24
Proposed PARTF Area: +/- 6 Acres

LEGEND	
	Park Boundary
	Existing Stream/Pond
	PARTF Facilities
	Existing Easements
	Future Facilities



Note:
Any grading, demolition, construction and amenities as shown on this plan will accommodate and preserve existing trees to the greatest extent practical.

PARTF Site Plan February 8, 2021
Master Plan Approved June 11, 2020



PROJECT COSTS

MARVIN CALDWELL PARK – City of Concord April 2021

PROJECT ELEMENTS	UNIT	UNIT COST	TOTAL COST
GREENWAY (1,980 linear feet, 0.375 mi)			
Mobilization, Grading, Demo	2.6 acres	\$10,000	\$26,000
Miscellaneous Demolition	Lump Sum	\$5,000	\$5,000
Construction Surveying & Entry	Lump Sum	\$20,800	\$20,800
Topsoil Strip & Organic Soil Cut	2,320 cy	\$7.00	\$16,240
Soil Export, Import, undercut & removal of unsuitable	2,320 cy	\$27.00	\$62,640
Permanent Swale	1,900 lf	\$2.75	\$5,225
Fine Grading	3,000 cy	\$7.00	\$21,000
Silt Fencing & Tree Protection fencing	2,280 lf	\$3.75	\$8,550
Rock Filter Berm	4 ea	\$450	\$1,800
Check Dams & Sediment Traps	Lump Sum	\$10,200	\$10,200
Erosion Control (Lump Sum)	Lump Sum	\$6,655	\$6,655
Asphalt Paving (2.5" depth @ 10-foot width)	330 tons	\$140	\$46,200
ABC Stone base (8" depth @ 13-foot width)	1,200 tons	\$45	\$54,000
Geogrid fabric (Tensar)	2,200 sy	\$8.00	\$17,600
18" Diameter Culverts (RCP)	200 lf	\$58.00	\$11,600
18" Flared end sections	12 ea	\$1,800	\$21,600
Riprap	180 tons	\$70	\$12,600
Total GREENWAY Cost (New):			\$347,710
PARK FACILITIES			
New Shelter (40' x 40') w/ Concrete Pad	Lump sum	\$100,000	\$100,000
New Splash Pad (incl. accessories, equipment,	Lump sum	\$400,000	\$400,000
Total PARK Facility Cost (Replace + New):			\$500,000
Total Project Cost:			\$847,710
Total PARTF Grant Request:			\$400,000
Total Local Match:			\$447,710

Sources of the Applicant's Matching Funds

Use the format below to show the sources of your matching funds. Please indicate if these funds are currently available or are the funds yet to be approved. If funds are yet to be approved, list the date for approval.

Applicant: CITY OF CONCORD Project Name: MARVIN CALDWELL PARK

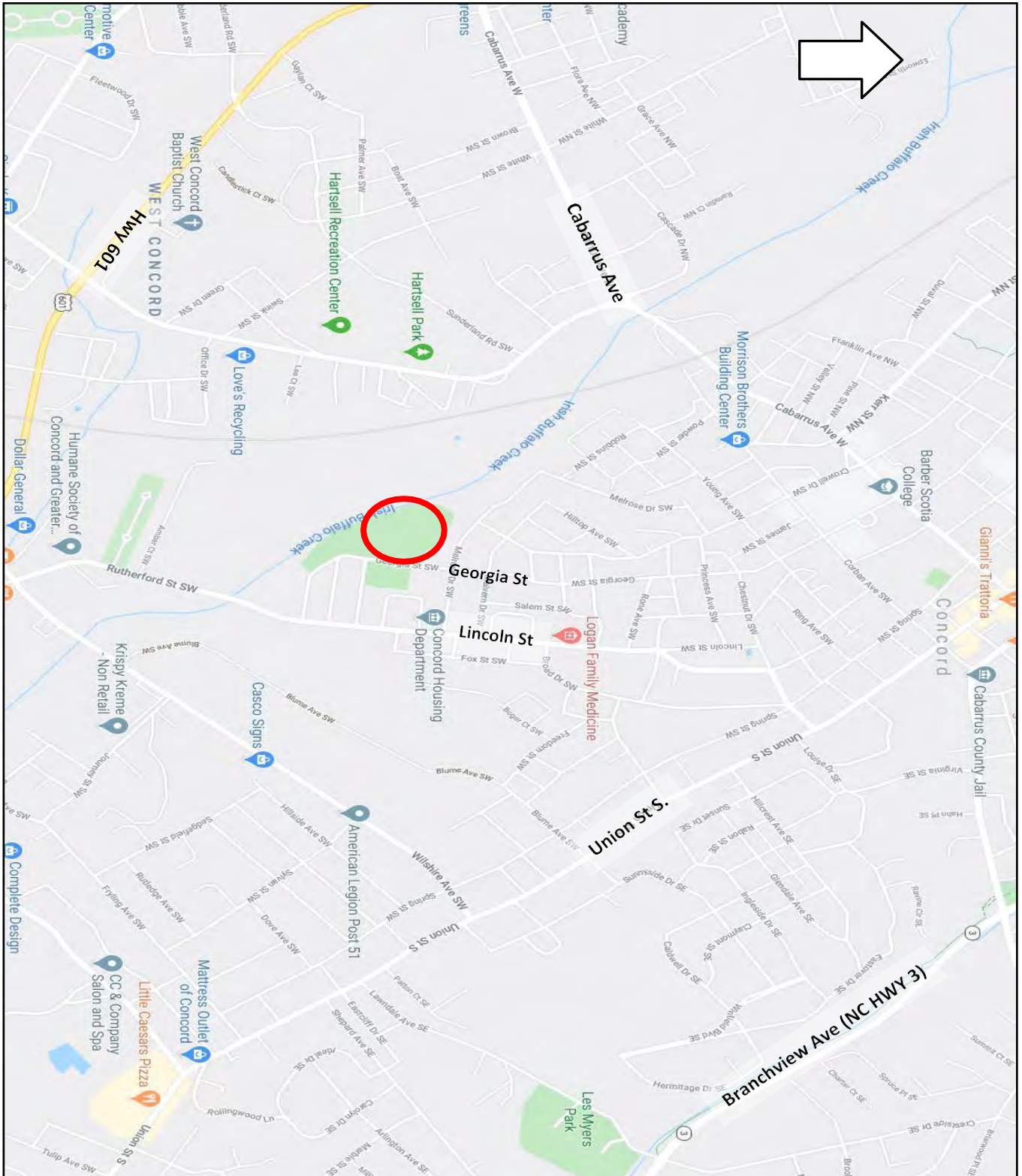
Sources of the Applicants Matching Funds			
Type of Matching Funds	Amount of Funds	Funding Source	Availability
CASH	\$ 497,710	Town's Budget or Capital Improvement Plan (CIP)	Town's Approved CIP
Total Matching Funds:	\$497,710		

**PARTF allows other state and federal funding to be used as local match.*

SITE VICINITY MAP

Marvin Caldwell Park

- 362 Georgia Street SW; Concord, NC 28026
- Highway 601 (Warren C. Coleman Blvd.) to Wilshire, left on Rutherford St/Lincoln St, left on Cozart Ave., continue onto Georgia and park is on the left
- Latitude / Longitude: 35°23'39.0"N / 80°35'01.6"W



PARTF Scoring System for Grants

The members of the N.C. Parks and Recreation Authority use the PARTF scoring system as one of several tools to select grant recipients. Please provide all the information requested for each item. Attach a separate page if more space is needed to address any item. Before beginning, refer to the “Definitions” section (*page 28*) describing the requirements for planning and public involvement documents. A team of PARTF staff and regional consultants will evaluate each application based on the scoring system and make the final decision about the applicant’s score.

Preparing an application for a PARTF grant is more than simply completing the application form. Creating a proposal for a high-quality park and recreation project requires adequate time to collect public input, review the results, and then plan for the project. You should also allow time to prepare the support documents that are vital in the evaluation of your application.

The planning and public involvement process has many benefits including:

- New recreational opportunities can be based on community preferences
- New parks can be located to respond to current deficiencies and future demands
- Recreational facilities can be built to meet the expectations of park visitors and minimize harm to the environment and
- PARTF funds can be used more efficiently.

PARTF Scoring System for Grants

Applicant: _____ Project Name: _____

A. Planning: (20 possible points)

1. Master plan for a park and/or greenway system (10 points)

- This item does not apply for applications proposing only land acquisition
- Please refer to pages 28–29 for the required components of the plan

- a. The applicant has a master plan created or revised within the past five years for the project site and the project conforms to the plan.

Date the plan was produced: _____ (9 points)

OR

- b. The applicant has a master plan created or revised within the past six years to ten years for the project site and the project conforms to the plan.

Date the plan was produced: _____ (4 points)

- c. The local governing board has adopted the master plan.

Date the plan was adopted: _____ (1 point)

Documentation Required (*Number of copies needed – see page 6*):

1. A park master plan or greenway system plan.
2. A local governing board’s meeting minutes or resolution as documentation of the adoption.
3. List the page number(s) and tab or highlight where the project is referenced in the plan.

78 TOTAL POINTS

2. Comprehensive systemwide parks and recreation plan for the local government's jurisdiction (7 points) Please refer to page 29 for the required components of the plan

- a. The applicant has a Comprehensive Systemwide Parks and Recreation Plan and the project conforms to the plan.

Date the plan was produced: _____ (6 points)

- b. The local governing board has adopted the systemwide plan.

Date the plan was adopted: _____ (1 point)

Documentation Required (Number of copies needed – see page 6):

1. A comprehensive systemwide parks and recreation plan produced or revised in the past 10 years.
2. A local governing board's meeting minutes or resolution as documentation of the official adoption.
3. List the page number(s) and tab or highlight where the project is referenced in the plan.

3. 3 to 5-year capital improvement plan for parks and recreation (3 points) Please refer to page 29 for the required components of the plan

- The applicant has a 3-to-5-year parks and recreation plan or a capital improvement plan for parks and recreation and the project is identified in the plan.

Date the plan was adopted (required): _____ (3 points)

Documentation Required (Number of copies needed – see page 6):

1. A capital improvement plan.
2. A local governing board's meeting minutes or resolution as documentation of their adoption as a part of the local government's budget process.
3. List the page number(s) and tab or highlight where the project is referenced in the plan.

B. Level of public involvement in developing and supporting the project: (15 possible points)

1. Public meetings (5 points):

- The applicant conducted a public meeting(s) *exclusively* for discussing the PARTF grant project and obtaining comments within the past 24 months. The public supported the project.

Date of the meeting(s): _____

Documentation Required (Number of copies needed – see page 6):

1. Provide a title page that gives the name of applicant, the name of the project and identifies the document as "Public Meetings."
2. A document describing the means used to widely advertise the meeting, such as newspaper advertisements, Facebook, websites, and community announcements.
3. The minutes, including the discussion of the project, who was present and public comments.

2. Recreational needs survey (5 points):

- The results of a survey to determine the recreational needs in the applicant's jurisdiction show that the citizens support the project.
- The survey must be conducted during the past ten years
 - Please refer to page 29–30 for the required components of the survey

Documentation Required (Number of copies needed – see page 6):

1. The following information about the survey
 - Copy of the questionnaire
 - Results of the survey
 - Describe how the survey was distributed.
 - Give the date(s) of distribution and the number of surveys distributed.
 - Provide the number of respondents and demographic information that they are representative of the local government’s jurisdiction.
 - Describe how the results of the survey show that the citizens support the project.
2. Include a title page that gives the name of applicant, the name of the project and identifies the document as “Survey of Recreational Needs.”

3. Support from civic groups (3 points):

- The applicant presented the PARTF grant project to two or more local groups and received support for the project. (Examples: civic groups, neighborhood associations, youth organizations, non-governmental advisory boards, etc.)

Documentation Required (Number of copies needed – see page 6):

1. Include a title page that gives the applicant’s name, the project’s name and identifies the document as “Presentations to Local Groups.”
2. The agenda, correspondence or other documentation from the groups that confirm the meeting dates and the presentations given by the applicant.

Note: Letters expressing support for the project do not count as presentations.

Name of the Organization	Date of the Presentation	Meeting agenda or letter from the organization included in the application?

Carolina Thread Trail

Letter

4. Support from a parks and recreation board (2 points):

- The applicant presented the PARTF Grant project to the parks and recreation advisory board or a similarly appointed, non-elected group, and received a motion of support for the project.

Date of the meeting(s): _____

Documentation Required (Number of copies needed – see page 6):

1. Include a title page that gives the name of the applicant, the project title and identifies the document as “Presentation to Advisory Board.”
2. The minutes from the meeting that include support for the project.

C. Public recreational facilities provided by the project: (45 possible points) *Not applicable to land acquisition only projects.*

1. The local government will be building its first public park on property that it owns. (20 points)

- Yes No

Explain:

2. New, like, or renovated facilities to be provided: (30 points)

A maximum of 30 total points will be awarded for the sum of 2a, 2b and 2c.

a. The project will provide (check one):

- 3 or more types of new recreational facilities (20 points)
 2 types of new recreational facilities (15 points)
 1 type of new recreational facility (10 points)

List the new types of recreational facilities:

b. The project will add recreational facilities at the park that are like the facilities that exist at the park. The project will add (check one):

- 3 or more types of recreational facilities (12 points)
 2 types of recreational facilities (8 points)
 1 type of recreational facility (4 points)

List the types of recreational facilities:

c. The project will provide major renovation of (check one):

- 3 or more types of recreational facilities (8 points)
 2 types of recreational facilities (6 points)
 1 type of recreational facility (4 points)

List the recreational facilities to be renovated and why each renovation is needed:

3. The project will provide a trail or greenway (¼ mile or longer) that links to existing recreation area(s), school(s), downtown businesses, and/or communities located outside of the park. (5 points)

- Yes No

Site plan must show trail linkage (*page 9-10*). Identify by name and location the existing trail and areas to be linked by the proposed trail:

D. The Suitability of the Site for the Proposed Project. (5 possible points) Explanations are needed below to be considered for each point.

1. **The site is suited for the proposed development with minimal adverse impact to the environment. (1 point)**

Please explain:

2. **The location of the site enhances the park and the public's access to the park. (1 point)**

Please explain:

3. **The site is enhanced by the adjacent property uses. (1 point)**

Please explain:

4. **The proposed site is large enough to adequately accommodate the proposed development. The proposed project will require minimal site preparation considering the geographic region where it is located. (1 point)**

Please explain:

5. **The site is free of restrictive easements, overhead powerlines, or other intrusions (1 point):**

Yes No*

*Please describe how the proposed development would be limited or cause a safety hazard for users:

E. The applicant's commitment to operating and maintaining the project. (15 possible points)

1. **The applicant has a full-time parks and recreation department that will manage the project site to provide programming and to ensure adequate operation and maintenance. (15 points)**

2. **The applicant has a full-time staff, such as a public works, who will manage the project site to ensure adequate operation and maintenance. (8 points)**

3. **The applicant will manage the project site with part-time staff or by contractual agreement to ensure adequate operation and maintenance. (4 points)**

4. **An organized volunteer group, such as a civic group or youth sports association will operate and maintain the site. (2 points)**

Provide the name of the organization that will operate and maintain the site:

If the applicant is not going to operate the site with full-time staff, (see items #3 & #4), describe how and when the site will be open to the public.

F. Land Acquisition (15 possible points) *(Does not apply for applications proposing development only.)*

1. **If not purchased at this time, a significant natural, cultural, recreational, scenic, or highly threatened resource will be used for other purposes. (15 points)***

2. **The site is an excellent natural and/or recreational resource. (10 points)***

3. **The site is an average natural and/or recreational resource. (5 points)**

**Detailed explanation required.*

What is the specific significant resource?

What is the specific potential threat?

9 + 1 + 6 + 1 + 3 + 5 + 5 + 3 + 20 + 5 + 1 + 1 + 1 + 1 + 1 + 15 = 78 TOTAL POINTS

Attorney's Certification of Site Control for Development Projects

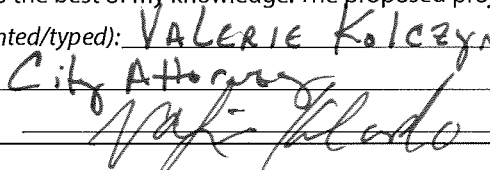
Local Government: City of Concord

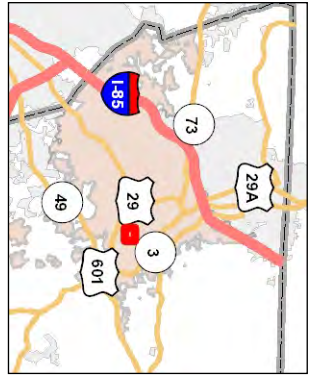
Project Name: Marvin Caldwell Park Renovation

Instructions: An attorney must certify that the local government has control of the entire site of a proposed development project for providing public recreation by May 3, 2021. The project must be located on a single contiguous site. Please contact your regional consultant about linear parks and greenways.

Important: The application can be declared ineligible without this certification.

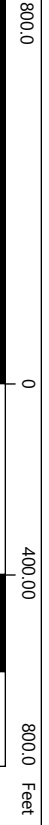
Exception: This certification is not required for applications only proposing land acquisition or applications proposing to acquire the site of a proposed development project.

1. Type of Site Control: Indicate the type(s) of control the applicant has for the project site.	
Type of Control – <i>Check all that apply</i>	
<input checked="" type="checkbox"/> Fee Simple Title	<input checked="" type="checkbox"/> Entire site <input type="checkbox"/> Portion of site
<input type="checkbox"/> Lease (25 years or longer)	<input type="checkbox"/> Entire site <input type="checkbox"/> Portion of site
<input type="checkbox"/> Easement	<input type="checkbox"/> Entire site <input type="checkbox"/> Portion of site
2. Limitations, Conditions or Encumbrances:	
<input checked="" type="checkbox"/> No limitations, conditions, or encumbrances a. For property owned or to be owned by the local government, describe all easements or encumbrances. b. Describe any conditions or limitations in current or proposed leases, easements or use agreements. Include restrictions on the local government's use of the site or the rights to be reserved by the landowner that may impact the local government's ability to complete the project in a timely manner and/or provide for public recreational use for at least 25 years. Attach additional pages if needed.	
3. Attorney's Certification	
I have reviewed the site of the proposed project identified on this page and certify that the information provided above is accurate to the best of my knowledge. The proposed project will be on one contiguous site.	
Name: (Printed/typed): <u>VALERIE Kolczynski</u>	
Title: <u>City Attorney</u>	
Signature: <u></u>	Date: <u>2/21/2021</u>



Legend

- Address Point
- Street Right-of-Way
- Parcels
- Speedways & Race Tracks
- Airports & Airstrips
- + Railroad
- Highways
- Interstate
- NC Highway
- US Highway
- Roads
- Concord City Limits Zoomed In
- Cabarrus County



1 : 4,800



NAD_1983_StatePlane_North_Carolina_FIPS_3200_Feet
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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



1 : 4,800

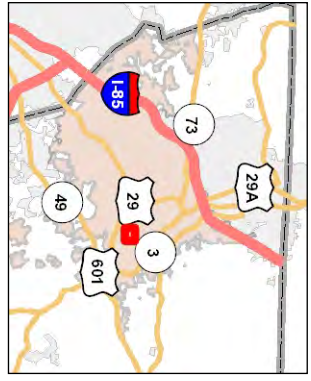


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NAD_1983_StatePlane_North_Carolina_FIPS_3200_Feet
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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



- Legend**
- Address Point
 - Street Right-of-Way
 - Parcels
 - Speedways & Race Tracks
 - Airports & Airstrips
 - + Railroad
 - Highways
 - Interstate
 - NC Highway
 - US Highway
 - Roads
 - ▭ Concord City Limits Zoomed In
 - ▭ Cabarrus County

Notes

RECORD 294

STATE OF NORTH CAROLINA—CABARRUS COUNTY.

THIS INDENTURE Made this thelth..... day ofJune....., in the year of our Lord one thousand nine hundred andFifty-Nine (1959)....., between C.M.Llewellyn and wife Ruth P.Llewellyn.....

of the County ofCabarrus..... and State of North Carolina of the first part, and City of Concord, a Municipal Corporation.....

of the County ofCabarrus..... and State of North Carolina, of the second part:

WITNESSETH, That the said part 1st..... of the first part, for and in consideration of the sum of Ten and other valuable considerations..... DOLLARS, to the said part 2d..... of the first part in hand paid, the receipt whereof is hereby acknowledged, has ~~he~~ ^{its successors} bargained, sold and conveyed, and by these presents do bargain, sell and convey unto the said part 2d..... of the second part, ~~he~~ ^{its heirs and assigns} the following described real estate, situate, lying and being in the County of Cabarrus and State of North Carolina, bounded as follows, to-wit:

A tract of land lying and being in Ward No.4 of the City of Concord and No.11 Township in Cabarrus County, North Carolina, and being a part of the subdivision known as "HARTSELL ACRES" and also a part of the Junkin Reed Property, and lying on the East side of Irish Buffalo Creek and described as follows:

BEGINNING at an iron stake in the West edge of Lincoln Street, said point being the Southeast corner of Lot No.1 in Block "C" of Lincoln Park (said point being South 12-30 West 125 feet from the Southwest corner of the intersection of Cozart Drive and Lincoln Street) and runs thence with the line of Lincoln Park North 77-30 West 425 feet to an iron stake the Southwest corner of Lot No.17 in Block "C" on Lincoln Park; thence North 12-30 East 125 feet to an iron stake, the Northwest corner of Lot No.17 in the South edge of Cozart Drive; thence along the South edge of Cozart Drive, North 77-30 West 150 feet to an iron stake; thence North 12-30 East crossing Cozart Drive and with the West line of Lot No.27 in Block "B", 142.5 feet to an iron stake, a corner of Lots Nos. 27, 33 and 34 in Block "B" of Lincoln Park; thence North 77-30 West 150 feet to an iron stake, the Southwest corner of Lot No.28 in Block "B" of Lincoln Park; thence North 12-30 East 112.5 feet to an iron stake, the Northwest corner of Lot No.28 in the South edge of Logan Drive; thence with the South edge of Logan Drive North 77-30 West 154.6 feet to an iron stake on the old line between the Hartsell and Reed properties; thence North 30-12 East 271.9 feet with the old line to an iron stake on said old line; thence a new line North 78-30 West 378.2 feet to an iron stake, a new corner; thence a new line North 14-00 West 1108.7 feet to an iron stake, a corner of Lot No. 34, in Block "F" of HARTSELL ACRES and on the line of G.T.Crowell property; thence with the line of the Crowell property South 45-30 West 245 feet to the center of Irish Buffalo Creek; thence with the center of the said creek South 16-27 East 1160.9 feet to a stake in the center of the creek; thence with the center South 30-15 East 411 feet to a point in the center of the creek, an old corner of Hartsell Acres; thence North 29-43 East 30 feet to an iron stake on the East edge of the creek; thence along the east edge of the creek South 37-27 East 1062.0 feet to an iron stake on the east side of the creek and on the line of the Property of J.W.Propst, Jr.; thence with the line of J.W. Propst, Jr. North 30-00 East 499.5 feet to an iron stake, J.W.Propst, Jr. corner; thence North 12-30 East 82.7 feet to the BEGINNING, containing 16.38 acres

I.R.Stamps-\$10.45.

139

TO HAVE AND TO HOLD all and singular the above granted premises, with the appurtenances, unto the said part Y of the second part, its successors heirs and assigns forever. And the said C.M. Llewellyn and wife Ruth P. Llewellyn part les of the first part, for themselves, their heirs, executors and administrators, do hereby covenant with the said part Y of the second part, its successors heirs and assigns, that they are seized of said premises in fee simple; that the said premises are free from all encumbrances; that they have good right and lawful authority to sell the same; that they will warrant and defend the said premises unto the said part Y of the second part, its successors heirs and assigns, against the lawful claims of all persons whatsoever. IN TESTIMONY WHEREOF, the said part les of the first part have hereunto set their hand s and seal s, the day and year first above written.

C.M. Llewellyn (Seal)
Mrs. Ruth P. Llewellyn (Seal)

Signed, sealed and delivered in the presence of: (Seal) (Seal) (Seal) (Seal)

STATE OF NORTH CAROLINA—CABARRUS COUNTY.

I, in and for said County and State, do hereby certify that personally appeared before me this day and acknowledged the due execution of the annexed instrument; and the said being by me privately examined, separate and apart from said husband, touching voluntary execution of the same, doth state that signed the same freely and voluntarily, without fear or compulsion of said husband or any other person, and that doth still voluntarily assent thereto. Therefore, let the said instrument, together with this certificate, be registered. Witness my hand and seal, this day of A.D., 19. My commission expires 19. (Seal)

STATE OF NORTH CAROLINA, Cabarrus COUNTY.

I, Fay G. Nalls, a Notary Public in and for said County and State, do hereby certify that C.M. Llewellyn and wife Ruth P. Llewellyn personally appeared before me this day and acknowledged the due execution of the foregoing instrument. Therefore, let the said deed, together with this certificate, be registered. Witness my hand and Notarial seal, this day of June, A.D., 19. 59. Fay G. Nalls (Seal) My commission expires November 14, 19. 59.

STATE OF NORTH CAROLINA—CABARRUS COUNTY.

The execution of the foregoing deed was this day of 19, acknowledged/proven before the undersigned, in and for the County aforesaid, by Therefore, let the said deed, together with this certificate, be registered. Witness my hand and seal, date above written. My commission expires 19. (Seal)

STATE OF NORTH CAROLINA—CABARRUS COUNTY.

The foregoing certificate of Fay G. Nalls, a Notary Public of Cabarrus County, is adjudged to be in due form and according to law. Therefore, let the said deed, with the certificate, be registered. Monty Blackwelder, Deputy Clerk of Superior Court.

This the day of A.D., 19. I hereby certify that the within deed filed in the office for registration on the 8th day of June, A.D., 19. 59 at 4:00 o'clock P.M., and was duly registered, this the 9th day of June, A.D., 19. 59 at 8:50 o'clock A.M. Register of Deeds.

Mitchell Printing Co., Raleigh, N. C.—2015

BOOK 444 PAGE 662

00452

NORTH CAROLINA

CABARRUS COUNTY

DEED FOR REAL PROPERTY

THIS INDENTURE, made this 29th day of July, 1974, by and between the CONCORD CITY BOARD OF EDUCATION, party of the first part, and the CITY OF CONCORD, NORTH CAROLINA, a municipal corporation organized under the laws of the State of North Carolina, party of the second part;

W I T N E S S E T H: that--

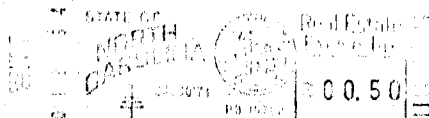
WHEREAS, the party of the first part presently owns certain real property formerly used for public school purposes and commonly known as Echo Park, located in Ward No. 4 of the City of Concord, Cabarrus County, North Carolina, which property is no longer used for public school purposes and is undesirable for public school purposes; and

WHEREAS, the party of the second part desires to acquire the Echo Park property for use in its overall program of providing recreational facilities for citizens and residents of Concord, North Carolina; and

WHEREAS, the parties hereto have agreed upon the terms and conditions for the sale of said property to be deeded by the party of the first part to the party of the second part; and

WHEREAS, Section 160A-274 of the General Statutes of North Carolina permits any governmental unit, including a city school administrative unit, to sell to any other governmental unit any interest in real property that it may own upon such terms and conditions as it deems wise; and

WHEREAS, the Concord City Board of Education has determined that the sale of its Echo Park property to the City of Concord is wise and in the interest of all the citizens of Concord, North Carolina;



Prepared By: Hartwell, Hartsell & Mills, Attys.
Mailed: Grantee, Concord, N.C.

ENVIRONMENTAL REVIEW

Project Name Marvin Caldwell Park Local Government City of Concord

All applicants who are proposing any development (roads, buildings, ball fields) with a PARTF grant must provide the following information to help determine the proposed project's impact on the environment. Project design should minimize adverse impacts on the environmentally sensitive features of the site. Each item must be accurately and adequately addressed to allow the Department Natural and Cultural Resources to determine if the proposed project will comply with the requirements of the State Environmental Policy Act (SEPA).

- 1. Site Description:** Describe in detail the existing or proposed park property including the park acreage (for land and water), topography, streams, lakes, and any significant natural resources that are on or adjacent to the site. Attach a separate page if needed.

Marvin Caldwell Park consists of two tax parcels totaling approximately 21.3 acres. An additional 3 acres also owned by the City is included in the park master plan, but that area will not be part of the PARTF application. There is some significant elevation change across the property, but mostly in the northern corner of the site behind the Daniel Pharr Community Building. The lowest elevations of the site are found along Irish Buffalo Creek, where the area within the 100-year floodplain is predominately flat ranging in elevation from 580 to 578, which is about a 0.3% slope. Overall, including the steep area behind Daniel Pharr, the site has a slope of about 1.5% from NE to SW.

- 2. Past/Current Property Use:** What are the past and/or current uses of the property? Examples: Urban/developed, forest, agricultural, industrial site, landfill, water, or wetland. Attach a separate page if needed.
 - › **Important:** If the property has been contaminated (examples: brownfield sites), all cleanup actions must be completed before a PARTF contract is executed and the project can begin. Use this space to describe any cleanup actions that are in progress or proposed. The PARTF program recommends that local governments wait until cleanup is completed before applying.

The property has been a public park (formerly known as Echo Park) since 1973. Some of the features have changed over time, but there has not been significant change or any new amenities in the park since the late 1990's. At some point between 2001 and 2005, the orientation of the two baseball fields was changed, but otherwise the park remains unchanged. Before there were park amenities on the site, it was vacant and did not have any significant forestland.

- 3. Wetlands:** Describe any wetland areas on the site including the acreage (see "Resources" on page 4 for help in identifying wetlands). Describe any disturbance of wetlands needed to develop the proposed project. Please state if no wetlands exist on the site. Attach a separate page if additional space is needed as well as a wetlands delineation map.

A vast majority of the park site is within the 100-year floodplain. There is a very small tributary that drains to the creek from the southeast corner, which contains a 30-foot regulated stream buffer. Otherwise, there are no significant wetlands on the property.

- 4. Floodplains:** Describe any floodplain areas within or adjacent to the site and delineate floodways. See the "Resources" section on page 4 for help in identifying floodplains. Please state if none exist. Attach a separate page if needed, especially for delineating 100-year floodways and floodplains.

A vast majority of the park site is within the 100-year floodplain, approximately 18.6 acres or about 88%. Again, the area within the floodplain is mostly flat.

- 5. Tree and wildlife species:** Describe the predominant tree and wildlife species on or adjacent to the site. Attach a separate page if needed.

The site is predominately open, some older hardwoods dot the hillside around the Daniel Pharr Community Building. There is mostly hardwood with some pine toward the eastern side along Lincoln Street SW. A few of the hardwoods within the site are of significant size, but additional inspection and confirmation is needed to determine current and future health of the trees. Any grading, demolition, construction and amenities as shown on this plan will accommodate and preserve existing trees to the greatest extent practical. There is also a thick layer of vegetation along the creek bank. The playground area contains several sweet gum and oaks trees. There are also a few elm, hickory and maple trees on the property.

- 6. Archaeological or historical sites:** List any known archaeological or historical sites within the project site or in the vicinity of the site. Has the area been surveyed by an archaeologist? If so, when and by whom? (See "Resources" on page 4 for help in identifying cultural resources). Attach a separate page if needed.

There are no known historical or archeological structures or sites on the property. Aerials dating back to 1968 are provided. The area has been surveyed, but not by an archeologist.

- 7. Existing Structures:** List all existing recreational facilities and other structures on the site, regardless of their age. Indicate if any structure is more than 50 years old. Provide a photograph and pertinent historical information about the structure(s) which are 50 years or greater. Indicate whether any existing structure(s), regardless of age, will either be demolished or renovated for recreational use by the proposed project? Attach a separate page if needed.

The park has three driveway entrances and parking areas off of Georgia Street. Existing facilities in the park include the following:

- Daniel Pharr Community Building – Includes a kitchen, meeting facility, restrooms, and HVAC/electricity.
- Robert Mathis Amphitheater (has electricity)
- Logan Optimist Club Shelter – 10 total picnic tables, electricity and a grill
- Caldwell Shelter #1 – no tables or grill
- Caldwell Shelter #2 – 2 picnic tables and a grill
- Caldwell Shelter #3 – 2 picnic tables
- Tennis Court shelter – 8 picnic tables, grill, restroom, electricity
- Four (4) basketball courts
- Two (2) youth baseball/softball fields
- Two (2) tennis courts with pickleball lines
- Two (2) playground areas (one with swings, one without swings)
- One skating circle
- Walking paths
- Restroom building

As part of this application, the City is replacing and moving the Logan Optimist Shelter and the Robert Mathis Amphitheater. Other shelters are also being removed or relocated as well to be more accessible and visible. The existing restroom building and one of the shelters is where the new splash pad is to be located, and a new restroom building, with a shelter overhang on both sides will be developed between the splash pad and the new playground area. Daniel Pharr building will remain in place, as will the tennis court shelter. None of the structures on the site are considered historic, are on the national register, of architectural or archeological significance, or are greater than 50 years of age.

- 8. Utilities:** Describe any existing utility easements within the site; including the width and length. Also, describe the existing water, sewer, and road systems at the site. Describe any water, sewer, or road systems included in the proposed project. Attach a separate page if needed.

With the park site being located within residential development, the site is well served by utilities. Water and sanitary sewer are available along Georgia Street SW. Sanitary sewer also crosses the length of site from the northeast to the

southwest. Power is available on the site which also appears to offer 3-Phase lighting. Attached map shows locations of utilities and easements including sewer and stormwater. It is served by City of Concord utilities.

9. Ground Disturbance / Site Clearing: How many acres are to be disturbed and/or cleared for the proposed development?

5.13 acres

10. New Facilities: If a new indoor facility is proposed, how large is the facility's footprint or square feet of ground covered?

_____ square feet. **The proposed amphitheater and shelter are open air facilities, not indoor facilities**

Also, if a greenway or trail is proposed, include its approximate:

Length: 1980 feet (0.375 miles)

Width: 10-foot asphalt (13-foot ABC base)

surface (such as natural, gravel, paved, etc.) Asphalt surface at 2.5" thick on top of 8" Compacted ABC Base and geogrid fabric for stability

11. Permits:List all permits that have been or will be applied for or received, such as erosion control, CAMA or U.S. Army Corps of Engineers permits. Attach a separate page if needed. Include a brief discussion and documentation of your interactions with permitting agencies.

The project is in the conceptual/schematic design phase now. It will move into CD's sometime in FY2022. The City of Concord permitting process includes a land development permit with review by all internal agencies. Floodplain (FEMA) and stormwater review is conducted in house. There will be water quality and water quantity requirements for the larger Caldwell project as there are no bmp ponds currently on the site. The intent is to obtain a no-rise certification. Erosion control will be required, but the greenway is not crossing the creek or any 404 wetlands, therefore it is our intention not to have U.S. Army Corps review unless it is required.

Some projects will require an additional evaluation called an "environmental assessment" if they are selected for funding. For any project that meets all three of the following criteria, an environmental document must be prepared:

- An expenditure of \$10 million in funds provided by the state of North Carolina for a single project or action or related group of projects or action

OR

- land-disturbing activity of equal to or greater than 10 acres of public lands resulting in substantial, permanent changes in the natural cover or topography of those lands (or waters)
- An action by a state agency, and
- Has a potential detrimental environmental effect upon natural resources, public health and safety, natural beauty, or historical or cultural elements, of the state's common inheritance.

The PARTF program will notify the applicant if an environmental assessment. If needed, the grantee must complete the environmental assessment before signing the PARTF contract and beginning the project.

Caldwell Park | Master Plan

Concord, North Carolina



Note:
Any grading, demolition, construction and amenities as shown on this plan will accommodate and preserve existing trees to the greatest extent practical.



IRISH BUFFALO CREEK GREENWAY > PHASE 1

MELROSE DRIVE TO WARREN C. COLEMAN BLVD. (HWY. 601)

The section of Irish Buffalo Creek (IBC) Greenway between Melrose Drive and Warren C. Coleman Blvd (Hwy. 601) utilizes Marvin Caldwell Park as the anchor, eventually extending north to McGill Avenue with Phases 2 and 3 and south beyond NC-49, eventually tying into Rocky River Greenway Corridor with future phases. This first phase will solidify a trail corridor upon which the City can build, with the advantage of existing parking and facilities at Caldwell Park that serve as a trailhead. Property for an additional trailhead should be acquired along Warren C. Colman Boulevard. Irish Buffalo Creek Greenway Phase 1 will tie into proposed multi-use paths along Warren C. Coleman Blvd.

Project Snapshot

- > Project Location: Between Caldwell Park (Logan Community) and Highway 601
- > Project Type: Greenway
- > Length of Project: 1.37 Miles
- > Estimated Construction Year: 2020
- > Trail Trip generators
 - Marvin Caldwell Park
 - Logan Multi-purpose Center
 - Logan Community

Previous Planning Efforts

- > Carolina Thread Trail Master Plan – For Cabarrus County Communities (2009)
- > Livable Community Blueprint for Cabarrus County (2001-2010)
- > Concord Comprehensive Parks and Recreation Master Plan (2016)

Potential Right of Way Needs

- > Total estimated area needed: 6.74 AC
- > Number of impacted parcels (not City owned): 10
- > Number of impacted property owners: 8

Potential Permitting Needs

- > Erosion Control
- > NCDOT Encroachments
- > CLOMR/LOMR flood modeling permits
- > 401/404 permitting

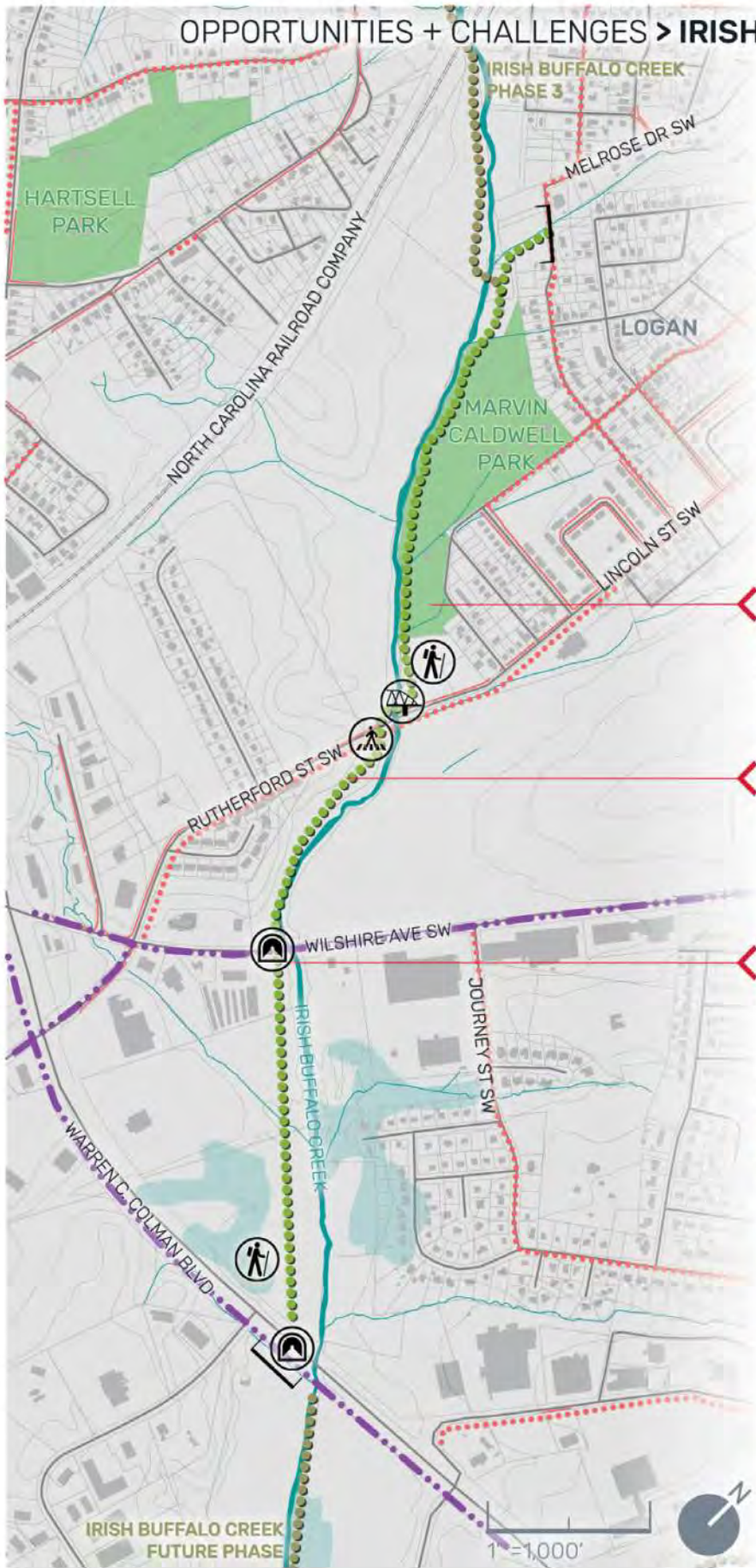
Estimated Project Cost

2019 Construction Cost Estimate (Basis for Calculations):	\$ 1,960,000.00
Escalated Construction Cost Estimate (FY2020):	\$ 2,100,000.00
10% Contingency:	\$ 210,000.00
Estimated Right of Way Costs:	\$ 40,000.00
Estimated Design Services ±3% *adjust per project	\$ 216,000.00
Estimated CEI Services ±2% *adjust per project	\$ 210,000.00
TOTAL ESTIMATED BUDGET RECOMMENDATION:	\$ 2,776,000.00

Potential Funding Sources

- > CRMPO/LAPP funding
- > NCDOT/STI funding – TAP, CMAQ
- > City of Concord CIP funding
- > Bonds
- > Carolina Thread Trail Grant

OPPORTUNITIES + CHALLENGES > IRISH BUFFALO CREEK PHASE 1



Marvin Caldwell Park contains ball courts, trails, ball fields, an amphitheater, a playground, and plenty of shelters and flexible spaces along Irish Buffalo Creek.

Project will require FEMA floodplain modeling and permitting.

Design should investigate appropriate crossing of Wilshire Avenue.

LEGEND

- PROPOSED GREENWAY TRAIL
- BOARDWALK POTENTIALLY REQUIRED
- ADJACENT GREENWAY PROJECT
- PROPOSED MULTI-USE CORRIDOR
- PROPOSED SIDEWALK
- FUNDED PROJECT
- EXISTING GREENWAY
- EXISTING SIDEWALK
- EXISTING STREET
- CITY CORPORATE LIMITS
- STREAM
- WETLAND
- PEDESTRIAN CROSSWALK
- PEDESTRIAN BRIDGE
- PEDESTRIAN UNDERPASS
- POTENTIAL TRAILHEAD PARKING

RECOMMENDATIONS

City of Concord, North Carolina

Fiscal Year 2020-21 through 2024-25 Capital Improvement Plan

Section 1		CIP Title: Caldwell Park Improvements				Budget Unit #: 8300			
Budget Unit	P&R - Capital Projects		Functional Area: Parks & Recreation		Priority Rank: 2				
Total CIP Cost	Total Appropriations to date	Budget Year 1 FY2020-21	Unappropriated Subsequent Years				Total Requested Funds	Type of CIP	
			Year 2 FY2021-22	Year 3 FY2022-23	Year 4 FY2023-24	Year 5 FY2024-25		New	Expansion
6,845,087	0	500,000	616,000	5,685,000	44,087	0	6,845,087		

Section 2 Description

This project consists of re-master planning and re-developing Caldwell Park. The plan will provide recommendations for possible renovation, improvements and additional amenities, which may include a splash pad. The project also includes a multi-use path along Irish Buffalo Creek, a part of the Carolina Thread Trail. Including connection to Melrose Drive and Rutherford Street SW (.60 miles). A cost of 1.7 million per mile identified in the Open Space Connectivity Analysis is included in the construction.

History, Status, or Impact if Delayed

This is consistent with Department Goals to operate safe facilities and maintain existing facilities that may be dated. The connectivity for the park to area neighborhoods via sidewalks and multi-use path would be delayed.

Justification or Link to City Goals

The Comprehensive Parks and Recreation Master Plan identified the need to re-master plan existing parks, including Caldwell Park to address amenities, safety, and accessibility. We also want to explore opportunities for programming in athletics and cultural arts for the park and community. Council strategic goal to support connectivity of City parks, neighborhoods, and community center through the enhancement of greenways, sidewalks, and multi-use paths.

Section 3 Capital Costs

Activity	FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	Future \$\$	Total
Construction	500,000	0	5,660,000	0	0	0	6,160,000
Design	0	616,000	0	0	0	0	616,000
Fiber for new path plus connection from there to existing fiber at the Pharr Building.	0	0	25,000	0	0	0	25,000
Land Acquisition	0	0	0	0	0	0	0
Total Capital Cost	500,000	616,000	5,685,000	0	0	0	6,801,000

Section 4 New or Additional Impact on Operating Budget

Type of Expenditure	FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	Future \$\$	Total
1 B&G Staff	0	0	0	35,087	0	0	35,087
Equipment	0	0	0	9,000	0	0	9,000
Total	0	0	0	44,087	0	0	44,087

Section 5 Method(s) of Financing

Funding Source(s)	FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	Future \$\$	Total
Bond Proceeds	0	0	5,160,000	0	0	0	5,160,000
Bond Proceeds for Fiber	0	0	25,000	0	0	0	25,000
If approved to apply from Council - LWCF Grant (Land and Water Conservation Fund)	0	0	500,000	0	0	0	500,000
Transfer from Capital Reserves	500,000	616,000	0	0	0	0	1,116,000
Operating Revenue	0	0	0	44,087	0	0	44,087
Total	500,000	616,000	5,685,000	44,087	0	0	6,845,087

Section 6 Maps / Charts / Tables / Pictures **Section 7** Comments for Other Depts.

B&G

Master Plan Approved June 2020

Logan Community Neighborhood Association Special Meeting Minutes

Time: Feb 9, 2021 10:00 AM Eastern Time (US and Canada)

Zoom Meeting

<https://us02web.zoom.us/j/85177155661?pwd=N2RiUVRFdHZ4SkdrT0RybEZLN2NWQT09>

Meeting ID: 851 7715 5661

Passcode: 368873

One tap mobile

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*+13017158592,,85177155661#,,,,*368873# US (Washington DC)*

Total Present on the Call: 6

City of Concord Parks and Recreation had a special zoom call meeting with the Logan Community Association members

Jason Pauling, Senior Planner with the Parks and Recreation Department gave a presentation and overview of Marvin Caldwell Park, the timeline for design and construction, and the opportunity for 2021 Park and Recreation Trust Fund (PARTF) application. The presentation, including proposed PARTF site plan based from the approved Caldwell Park Master Plan and project timeline is attached.

Jason discussed that the elements being considered for PARTF application may include the new splash pad, relocation of the Robert Mathis Amphitheater to be closer to the Daniel Pharr Community Building, relocation of the Logan Optimist shelter to be closer to the large open space for events, and the first section of Irish Buffalo Creek Greenway.

Reverend Donald Anthony expressed support for the grant opportunity, specifically in regards to the amphitheater, which is currently rented for several church services and events in the area, and the Optimist shelter relocation, which is used frequently for special events, including the Juneteenth Festival, National Night Out, and other events.

Mr. A.J. Clark, President of the Logan Association Board also expressed support from the neighborhood including the partnership between the neighborhood and the City to truly transform the park. He also spoke about the importance of the new splash pad, and many other elements the City is planning to do over the next three (3) years. He spoke in reference to the challenges the neighborhood has been facing with economic and social constraints and that the park development would provide a positive impact on the community.

Ms. Betty Stocks, former Deputy Police Chief was also very supportive and expressed gratitude that the plans would include connectivity of the greenway to the neighborhood, and security improvements such as the new parking configuration and restroom building.

Sheila Lowry, Deputy Parks and Recreation Director mentioned that design and construction for this park may happen in phases, but the first phase would begin as soon as next year, and would include several items identified in the LWCF 2020 grant application, and this proposed PARTF Application. She explained that the process of construction will also depend on timing over the next two to three years. She stated that this is a top priority project for City Council, and also referenced in both the Comprehensive Parks and Recreation Master Plan, and the Open Space Connectivity Analysis.

Closing Remarks:

Mr. A.J. Clark, President, thanked everyone for taking time out of their day to attend the virtual meeting. He offered a closing prayer and the meeting was adjourned at approximately 11:00 AM

CALDWELL PARK MASTER PLAN

COMMUNITY WORKSHOP

WHEN

Monday, October 14th
DROP IN ANYTIME BETWEEN 5-7 PM

WHERE

Caldwell Park
Daniel Pharr Community Building
362 Georgia Street SW
Concord, NC 28025



For more information contact:
Jason Pauling, AICP – Senior Planner
704-920-5600 or paulingj@concordnc.gov



CALDWELL PARK COMMUNITY WORKSHOP



NO.	NAME	ADDRESS	PHONE	EMAIL
01	Lyndia Gabriel	118 Princess Ave	704 782 5506	lyndia747@gmail.com
02	Alicia Broadway		704 920 5137	broadwaya@concordnc.gov
03	Donald Watson	66 McEachern Blvd. 1975 ^{Concord NC 28026}	732-620-8533	NewberryWatson@aol.com
04	A Clark	PO Box 2084 ^{Concord NC 28026}	704-425-2786	Aavis.Clark@gmail.com
05	Greg Mills	1971 Old Farm Rd SE, Concord	704-425-5216	Public@gregmills.com
06	Donald Arthur	37 Tribune Ave 28026	704-701-7167	Lebuick@aol.com
07	Betty Stacks	PO Box 883 Concord NC 28026	704-792-1101	legata@msd.com
08	Robert Barron	251 Georgia St SW 28025	704-782-	Robt0211@aol.com
09	Elmore Barron	" " " "	3055	
10	Wilma Meary	328 Melrose Dr		
11	Ella Mae Small	160 Bogen Ct SW 28025	704 86 5647	ersmallecard@ncrr.com
12	Patney Smith	3611 Teal Ct	704 920 61	smithp@concordnc.gov
13	Angela Abram	5414 Hammelmill Dr. Harrisburg, NC	704-213-1353	Angmcl704@aol.com
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Caldwell Park Master Plan
 Community Open House - 10/14/19
 Benesch Project No. 17000290

Most Popular



benesch

Recreational Activity	Currently Use	Currently Used Percentage	Would Like to See Offered	Would Like to See Offered Percentage
Picnic Shelters/Picnic Areas	4	26.67%	0	0.00%
Outdoor Basketball	3	20.00%	0	0.00%
Covered Outdoor Court Space	0	0.00%	7	17.50%
Outdoor Tennis	1	6.67%	1	2.50%
Splash Pad/Water Parks	0	0.00%	9	22.50%
Playgrounds (2-5 yr)	1	6.67%	6	15.00%
Playgrounds (5-12 yr)	0	0.00%	4	10.00%
Outdoor Multi-Purpose/Sports Fields	0	0.00%	3	7.50%
Baseball/Softball Fields	0	0.00%	0	0.00%
Restrooms/Shelter Combination	3	20.00%	2	5.00%
Outdoor Amphitheater	3	20.00%	3	7.50%
Greenway Trail System	0	0.00%	5	12.50%



Caldwell Park Master Plan

Community Workshop Comments

October 14, 2019

- Expand Daniel Pharr Community building
- Cover of open space at the amphitheater; fans overhead
- No name change on shelters or buildings
- More swings
- Call me when you do Myers, Dorton, Phillips 704.777.1920
- Remove new parking (20 spaces) at multi-purpose field
- Leave existing amphitheater; church services held there now
- Need to develop organized basketball camp or tennis program (youth programs)
- Restroom/shelter combination upgrade is necessary
- I really like the proposed covered court space and the greenway/walking improvements
- We need covered playground structures for the kids!
- It would be helpful to have amphitheater closer to restrooms
- Covered shelter would be a great addition
- Consider adding a dog park
- We need more pickleball courts
- A splashpad would be wonderful because we do not have a swimming pool in this area

Youth Council 3/15/2021

Welcome Youth Council members! Please type your name in the message area once logged on to the meeting. Please stay actively engaged throughout the meeting. Keep yourselves on mute during the presentation so we avoid background noise, but feel free to interact/comment when you feel it is necessary. All members must have their **camera on to be counted present**, Secretary Santosh will be taking attendance.

President Shriya Manchikatla will call the meeting to order.

www.concordnc.gov Click on Youth Council under the Resident column. Here you will find meeting minutes, the By-Laws and the updated calendar.

Also, on the web page at the bottom:

- ❖ **Request for Letter of Recommendation:** fill out the form found on our website and submit to Missy 2 WEEKS before your recommendation is needed.

Absences, remember to ALWAYS call or email Montana & Shriya if you are going to miss a meeting or event. Send Montana your sports calendar for related absences to be excused.

Email: read it OFTEN to keep up with information!!

Facebook: updated information about the meetings and events will be posted on the City of Concord Parks and Recreation page.

Instagram: Follow Concord Parks and Rec for reminders and pics!

PARTF Grant Application Support Letter, President Shriya Manchikatla went over the Concord Youth Council's support letter for the PARTF Grant that the City of Concord Parks and Recreation department is applying for. This grant will greatly improve Caldwell Park and directly support the mission of Concord Youth Council.

City Council Presentation, the sign-up genius is out. The next City Council meeting will be Thursday 4/8 virtually through Zoom. Sign up so far are Shiva and Alexanderpaul. Spots are still available.

Contact Sheet. PLEASE put Montana & Missy's cell phone numbers in your phone.

Points & Points Chart, the points chart has been sent to all members. Please let us know if you did not receive it. In Review: each service hour = 1 service point; each meeting, donation or social attended is valued as participation points – 5 participation points = 1 service hour; leadership points are acquired by attending City Council meetings, SYC conferences, Executive Board meetings or chairing a project or event. Each member is required to earn 10 service points per semester.

Sign Ups, please take service opportunities seriously. When you sign up to participate you need to make sure you are fully prepared to help in every way the instructor and description of the program depicts. YOU are representing Concord Youth Council when you volunteer for events and programs. Please give your 100% attention and respect to instructors running the program.

Socials, Social chair Saketha. Spots are still available for VENT SESSIONS. CYC will host peer vent sessions where members of the council can get together to talk and vent about life and different issues. Each session will be one service hour. Our next session will be held over zoom on Thursday 3/18. Signed up are Jadyn, Kayla, Kritika, Aryan, Pooja, Srija, Kripa and Anushree, Rama, Srivalli, Rohan, shiva, Kovida and Alexanderpaul. Spots are still available.

Kannapolis Youth Council, The City of Kannapolis has started their first Youth Council! Shriya and advisors will be speaking with their council tonight answering any questions they might have regarding our By-Laws and how we run our council.

SYC Grant, CYC was awarded the State Youth Council grant for hosting a spreading Kindness program in Concord. A committee sign up for this has been sent out and meeting will be scheduled soon.

Recruitment, its that time of year again! Time to recruit new members into Concord Youth Council, ask your friends, family members and anyone grades 9-11th for the 2021-2022 school year are eligible to apply! Applications for NEW

MEMBERS are due 5/21/21 and RETURNING MEMBERS are due 4/30/21. All current members are required to re-apply to maintain membership of Concord Youth Council.

Mentor Program, Mentor chair Srivalli will lead the group in tonight's activity.

Next meeting will be held Monday 3/29/2020 @ 5:30 on Zoom.

Logan Community Association

P.O. Box 2084

Concord, NC 28026

Aavis J Clark Jr.
Logan Community Association
PO Box 2084
Concord, NC 28026
March 19, 2021

Dear Sheila Lowry:

The Logan Community Association is in support of the City of Concord Parks and Recreation applying for the Parks and Recreation Trust Fund Grant. Once we met on February 9th, we are in full support of the renovations for Marvin Caldwell Park.

We are looking forward to working with the City of Concord Parks and Recreation and helping them to take the necessary steps to improve the Logan Community. We also understand that in these plans, a new amphitheater, shelter and a splash pad will be added to the park.

We appreciate the partnerships that have been formed between the two entities and look forward to the enhancements coming to our neighborhood.

Sincerely,

Aavis J. Clark, Jr.
President of the Logan Community Association

March 18, 2021

North Carolina Division of Parks and Recreation
ATTN: PARTF Program
1615 Mail Service Center
Raleigh, NC 27699-1615

Re : PARTF Grant Application Support

To Whom It May Concern,

The City of Concord Youth Council volunteers for special events and assists with various programs in green spaces throughout the city of Concord. As this grant would provide monetary support to, the relocation of the Logan Optimist Shelter, moving it closer to the new multi-purpose field, the relocation of the existing amphitheater, addition of a splash pad and approximately 0.4 miles of greenway, it would directly support the mission of the Concord Youth Council. These changes to parks would greatly improve the outdoor opportunities and increase outdoor recreational assets. Additionally, the changes would create spaces for increased and improved CYC opportunities at Caldwell Park and the surrounding areas.

The Concord Youth Council is in full support of the grant application being submitted by the City of Concord Parks and Recreation department.

Sincerely,



Shriya Manchikatla
Concord Youth Council President

Logan Ministers' Association

P. O. Box 2133

Concord, N C. 28025

March 18, 2021

Greetings Ms. Lowry:

We are grateful for the partnership that the Logan Community has with Concord Parks and Recreation. Thank you for sharing the proposed renovations with us as well as taking some of our recommendations to improve the park. We understand that you are applying for a Park and Recreation Trust Fund Grant for Caldwell Park.

We are supportive of the proposed improvements to the park. We understand that the improvements include, but are not limited to, extending our greenway and helping us to connect to the surrounding neighborhoods, providing a new amphitheater, a new Logan Optimist shelter and a splash pad.

We are thankful for the ongoing support and collaboration. The improvements to the park will enhance our time in the park and further encourage the community to gather safely.

Sincerely,

Donald E. Anthony

The Reverend Donald E. Anthony, President

Logan Ministers' Association



Mayor William C. Dusch
City of Concord
PO Box 308
Concord, NC 28026

March 22, 2021

RE: Letter of Support, Irish Buffalo Creek Greenway

Dear Mayor Dusch,

It is with great pleasure that we at the Carolina Thread Trail offer our support for your Parks and Recreation Trust Fund Grant application. If awarded, the grant will assist in funding the construction of the first section of Irish Buffalo Creek Greenway, from Lincoln Street SW, through Marvin Caldwell Park and connecting to Melrose Drive SW.

This first section of Irish Buffalo Creek Greenway will serve to connect residents of the community to local shopping and businesses, and easier access to Caldwell Park. Future phases will connect to Downtown Concord including retail, Government offices, dining and entertainment. The Irish Buffalo Creek greenway corridor is a priority of the Carolina Thread Trail. It offers the opportunity to eventually connect the City of Concord to existing Irish Buffalo Creek Greenway in Kannapolis, as well as connecting Cabarrus County to Rowan County. This corridor will someday be part of a very large regional network of trails, connecting fifteen counties in two states.

We understand Concord has a strong track record of successfully completing PARTF projects. Several of those were Carolina Thread Trail segments. We wish you well with this first segment of Irish Buffalo Creek Greenway, and we are happy to give our enthusiastic support for your grant application.

Best regards,

A handwritten signature in blue ink, appearing to read "Bret Baronak".

Bret Baronak, Director
Carolina Thread Trail

Led by
Catawba Lands
Conservancy

CONCORD CITY COUNCIL
REGULAR MEETING
JANUARY 14, 2021

A regular meeting of the City Council for the City of Concord, North Carolina, was held on January 14, 2020, at 6:00 p.m. with Mayor William C. Dusch presiding.

Due to COVID-19 and the 6 foot separation requirement, the meeting was conducted electronically via Zoom.

Council members were present as follows:

Members Present:

- Mayor Pro-Tem W. Brian King
- Council Member Andy Langford
- Council Member Ella Mae P. Small
- Council Member JC McKenzie
- Council Member Terry L. Crawford
- Council Member Jennifer H. Parsley
- Council Member John A. Sweat, Jr.

Others Present:

- City Manager, Lloyd Wm. Payne, Jr.
- City Attorney, Valerie Kolczynski
- City Clerk, Kim J. Deason
- Various Department Directors

* * * * *

Call to Order, Pledge of Allegiance, and Moment of Silent Prayer:

The meeting was called to order by Mayor Dusch followed by the Pledge of Allegiance and a moment of silent prayer.

* * * * *

Mayor Dusch stated an additional item has been requested for the agenda.

A motion was made by Council Member McKenzie and seconded by Council Member Crawford to add an additional item to the agenda (item will be #11)—the roll call vote: Aye – Langford, King, Small, McKenzie, Crawford, Parsley and Sweat; Nay – none.

Approval of Minutes:

A motion was made by Council Member Small and seconded by Council Member McKenzie to approve the minutes for the meetings of December 8 and December 10, 2020—the roll call vote: Aye: Langford, King, Small, McKenzie, Crawford, Parsley, and Sweat; Nay: none.

Presentations:

1. Mayor Dusch presented a retirement plaque to Pamela Roberts Parker recognizing her for over 25 years of loyal and dedicated service to the City of Concord Planning Department.

Informational Items:

1. Presentation from Allen Scott and Jeff Parker regarding the Cabarrus Amateur Radio Society.

Mr. Parker presented this information to the Mayor and Council during the December 8th Work Session.

The maintenance agreement was approved and the offer of dedications was accepted on the following property: C4 CStore Holdings II, LLC.

CONSENT AGENDA ITEM B

The offer of dedication was accepted on the following plat and easement: Park View Estates, Phase 3 Maps 3 and 4.

CONSENT AGENDA ITEM C

The offers of infrastructure were accepted in the following subdivisions and sites: Ellenwood Park Subdivision, Park View Estates Subdivision Phase 3 Map 2, Haven at Rocky River Subdivision Phase 1 Map 1 and 2, Hunton Forest Subdivision Phase 2-3 Map 7, Woodbridge Subdivision Phase 1 Map 1 and Map 2, Allen Mills Phase 1 Map 1, 2, 3, and 4, and The Boys and Girls Club of Cabarrus County.

CONSENT AGENDA ITEM D

The Parks and Recreation Department was authorized to apply for a Park and Recreation Trust Fund (PARTF) Grant for construction of identified amenities at Marvin Caldwell Park.

CONSENT AGENDA ITEM E

The Police Department was authorized to apply for grant funding from the NC Governor's Highway Safety Administration.

CONSENT AGENDA ITEM F

The following budget amendment was adopted to transfer affordable housing funds available in the General Fund to the affordable housing revolving projects fund.

ORD.# 21-03

AN ORDINANCE TO AMEND FY 2020-2021 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 11th day of June, 2020, adopt a City budget for the fiscal year beginning July 1, 2020 and ending on June 30, 2021, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
100-4370000	Fund Appropriated	Balance \$7,935,561	\$8,230,703	\$295,142
Total				\$295,142

Expenses/Expenditures



City Council Agenda

Thursday, June 11, 2020

6:00 PM

35 Cabarrus Avenue, W, Concord NC 28025

Cell phones are to be turned off or placed on vibrate during the meeting. Please exit the Council Chambers before using your cell phone.

The agenda is prepared and distributed on Friday preceding the meeting to Council and news media. A work session is then held on the Tuesday preceding the regular meeting at 4:00 pm.

In order to maintain the safety of City residents, City Council, and staff, the June 9, 2020 City Council Work Session and the June 11, 2020 City Council meeting will be conducted electronically via Zoom and can be accessed with the following link:

Join Zoom Meeting:

<https://us02web.zoom.us/j/82744897457?pwd=UGh3OXI4UHFIZzhpTkpUWVF2a2tqQT09>

Phone Dialing alternative:

646-876-9923 or 312-626-6799

Meeting ID: 827 4489 7457 Password: 579922

Public Hearings will be conducted during the June 9, 2020 Work Session. If you would like to comment on a public hearing item or to comment during the Persons Requesting to be Heard portion of the June 11, 2020 City Council meeting click the following link:

<https://forms.gle/M37tMtHE3AFFjbBp8>.

* * * * *

I. Call to Order

II. Pledge of Allegiance and Moment of Silent Prayer:

III. Approval of Minutes:

May 12 and May 14, 2020. **APPROVED**

IV. Presentations

V. Unfinished Business

VI. New Business

A. Informational Items

B. Departmental Reports

C. Recognition of persons requesting to be heard

ITEM ADDED TO AGENDA: Presenting a Proclamation recognizing the month of June as Posttraumatic Stress Disorder Month.

D. Public Hearings

1. Conduct a public hearing pursuant to N.C. General Statute 159-12 to consider public comments relative to the proposed FY 2020-2021 budget for the City of Concord. The City Manager has submitted his recommended budget to the City Council for consideration. Before adopting the budget ordinance, Council must hold a public hearing. Once the Council holds the public hearing, and considers input, it may adopt the budget ordinance at any time before the end of June 2020.

Enrichment Association Corporation. The potential revenue for the Non-Profit is \$234,000 average per year.

Recommendation: Motion to approve allocating \$385,000 in HOME funding and granting \$300,000 in bond issuance fees, originating from the developer, to the rehabilitation of Coleman Mill which will have 152 Affordable Housing Units.

APPROVED

- 6. Consider authorizing the City Manager to negotiate and execute a contract with Ratzlaff Construction for the construction of a 120' x 65' Truck/Equipment Shed at the Brown Operations Center.** Engineering estimated the project work to be \$296,000, placing the project below the formal bid requirements. Bids were opened on May 28, 2020. Five bids were submitted with Ratzlaff Construction being the lowest responsible bidder in the amount of \$304,032. This is the second phase of the Grounds Shed Expansion funded in a FY19/20 CIP in the amount of \$545,000. The first phase of the project, construction of a mezzanine in the existing Grounds Maintenance Shop in the amount of \$198,000, was approved at the May 14, 2020 City Council meeting. Funding in the amount of \$347,000 is available for this second phase of the project. The 7800 sq. ft. expansion of the Truck/Equipment Shed is needed to provide cover for trucks and equipment currently being stored in the open and to provide room to accommodate the projected growth in the Division resulting from expansion of the Parks & Recreation facilities and greenways.

Recommendation: Motion to authorize the City Manager to negotiate and execute a contract with Ratzlaff Construction for the construction of a 120' x 65' Truck/Equipment Shed in the amount of \$304,032. **APPROVED**

- 7. Consider awarding the total bid for the City of Concord's annual street preservation program to NJR Group, Inc and adopt a budget ordinance to appropriate funds from reserve funds.** One of Council's continuing goals is to improve the service levels and delivery of the City's annual street preservation program. Powell Bill receipts and General Fund revenues are being used to fund this work by contracted forces. Formal bids for this work were opened on May 22, 2020 with NJR Group, Inc. submitting the lowest total bid in the amount of \$5,938,972.58. Work such as patching, leveling, milling, resurfacing, pavement crack and joint sealing, re-striping, re-marking, and re-installation of permanent raised pavement markings work on approximately 121 lane miles of designated streets and other City infrastructure will be performed. Contract Final Completion date is 365 days from the Notice to Proceed.

Recommendation: Motion to award the total bid and authorize the City manager to negotiate and execute a contract with NJR Group, Inc in the amount of \$5,938,972.58 for the City of Concord's annual streets preservation program and adopt a budget ordinance to appropriate funds from reserve funds. **APPROVED**

- 8. Consider approving the Master Plan for Marvin Caldwell Park.** Marvin Caldwell Park, located at 362 Georgia Street SW, is one of the City of Concord's oldest parks located in the southern portion of Concord. The Parks and Recreation Department in accordance with the Comprehensive Parks and Recreation Master Plan and the Open Space Connectivity Analysis has contracted with Alfred Benesch Company to develop a new Master Plan, conceptual design and cost estimates for this park to help guide the department and the City's Capital Improvement Plan. The development of the park is anticipated in the next 2-5 years. The master plan seeks to address the following primary components: 1. SAFETY – The redesign of Caldwell Park seeks to address safety by making the park more accessible, more visible, and more inclusive. This can be achieved by expanding and re-configuring parking with an internal loop drive to assist with park monitoring, and traffic flow, increasing parking and adjusting driveway locations to line up with cross streets of the Logan Community, adding trails and sidewalks to and throughout the park, adding a dedicated multi-purpose field, removing fencing and other barriers in several locations that are inaccessible,

replacing and/or reconfiguring buildings and shelters by removing walls, hidden corners, and re-configuring doors and openings for visibility, and providing new, inclusive and ADA accessible playgrounds for all ages and abilities, with poured in place surfacing, new swings, and interactive elements; 2. CONNECTIVITY – Per the Open Space Connectivity Analysis, and Council goals, the plan includes the first section of Irish Buffalo Creek Greenway, which stretches from Lincoln Street to Melrose Drive within the Logan Community. Developing this greenway will add to the City's overall system and provide a more significant opportunity to walk or bike within Concord and will increase park visitors and users; 3. PROGRAMS, ATHLETICS AND EVENTS – The plan provides a dedicated multi-use field, which provides a space compatible for programming and events. The plan also replaces part of the fenced basketball area with a covered court space, which will create a space that can be programmed, including for summer camp offerings. The plan also recommends relocating the Robert Mathis amphitheater closer to the Daniel Pharr Building where it will be in close proximity to restrooms and can be used in conjunction with Daniel Pharr for events. Also relocating the Logan Optimist Shelter across from the multi-purpose field, and also next to an area where food trucks could be parked for events, which eliminates the need for concession areas; and 4. NEW AMENITIES – The plan recommends Concord's first Splash Pad be constructed at Caldwell Park as the first splash pad located within a City park. This was a top priority recommendation from the community at the October 2019 Community Workshop, and at the Logan Association meeting in January 2020.

Recommendation: Motion to approve and adopt the Master Plan for Marvin Caldwell Park. **APPROVED**

- 9. Consider adopting a budget ordinance amending the General Fund operating budget ordinance for consulting services by Nexsen Pruet, LLC.** The City desires to engage the services of Nexsen Pruet, LLC to provide recommendations and a plan for the revitalization of the Barber-Scotia campus through the engagement of the community and other interested stakeholders and in a manner which will preserve its history as a higher institution of learning and evaluate ways to maximize the value of said property for neighboring communities, the citizens of Concord and Barber-Scotia College. The services will also include the exploration and analysis of the legal ownership interest(s) on the Barber Scotia campus to include current campus financial liabilities. The amount will not exceed \$215,000 without further Council approval.

Recommendation: Motion to adopt an ordinance amending the General Fund operating budget ordinance for consulting services by Nexsen Pruet, LLC. **APPROVED**

- 10. Consider making appointments / reappointments to various City of Concord Boards and Commissions and making a reappointment to the CDDC Board of Directors.** Attached is a list of Board and Commission appointments for the City of Concord. This list notes the members that have expiring terms and can or cannot be reappointed.

Recommendation: Motion to make appointments/reappointments to various Boards and Commissions and a reappointment to the CDDC Board of Directors.

APPROVED THE FOLLOWING APPOINTMENTS & RE-APPOINTMENTS

- ABC Board: Reappoint – Dr. Wanda White; Appoint – Scott Padgett
- Planning and Zoning Commission: Reappoint – J. King
- Board of Adjustment: Reappoint – Steve Bradley, Cesar Correa; Reassign – David Niekamp to regular member; Appoint – Chuck Collier as regular member, Coretta Grant as regular member, Phil Jones as alternate member
- Historic Preservation Commission: Reassign – Amy Landis to regular member; Appoint – Shelby Dry
- WSACC: Reappoint – Dave Phillips

444

Jan 26th 27
2017

Council Member Alfred M. Brown, Jr
Council Member W. Lamar Barrier
Council Member Jennifer Parsley
Council Member John A. Sweat, Jr.

Others present were W. Brian Hiatt, City Manager; Merl Hamilton Deputy City Manager; Valerie Kolzynski, City Attorney; Kim J. Deason, City Clerk; Peter Franzese, Public Affairs and Projects Manager; and Department Directors.

Parks and Recreation Master Plan

The Parks and Recreation Director, Bob Dowless, provided an update on existing projects.

- McEachern Greenway Extension – evaluating construction contract with Ike's Construction. Project anticipated taking 8 months to complete.
- Hartsell Recreation Center building renovation – project on schedule to reopen in June 2017.
- Daniel Pharr building renovation – preparing to go out to bid on project. Renovations will increase capacity size of the building by 1/3.
- Burrage Road house – Griffin Architectural Firm was selected for the design and renovations of this facility. Awaiting their proposal for the project.

The Parks and Recreation Director introduced Mr. David Malcolm and Ms. Kristin Mansfield with McAdams Company to present information on the Parks and Recreation Master Plan.

Mr. Malcolm stated that the Plan is a 5, 10, and 15 year outlook for City park and recreation needs. Ms. Mansfield stated that the Plan is designed to utilize existing and future facilities. Some influencing factors that were taken into consideration when developing the Plan was demographics, population growth, and population age segmentation.

Mr. Malcolm described the timeline of the project. The process began in May 2016. Focus group meetings were held, input was received from City Council, citizen surveys were distributed, an athletic focus group meeting was held, and two community workshops were also held.

Ms. Mansfield stated the following future program areas were a result of the citizen survey:

- Special events
- Outdoor and indoor fitness
- Nature based activities
- Family programs
- Environmental programs
- Performing arts
- Aquatics
- Travel and tourism

Ms. Mansfield stated that recommendations were developed from all the input. These recommendations were separated into six categories:

- General Strategies – promote the benefits of the City's Parks and Recreation facilities and programs, consider ordinance updates and development of regulations, and adopt a system wide Accessibility Standards for Facilities.
- Parks and Facilities – continued upgrades and maintenance of existing facilities, strengthen school partnership, expansion of the City greenway system, look for new park expansion opportunities in under-served areas, develop new special purpose facilities, and maximize resources to create a centralized Athletic Complex.
- Programs – enhance and expand on existing programs, develop new programs, and develop a set of financial performance measures for programs.
- Policy
- Public relations – development of a Service System Review Process, further development of partnerships, and develop a marketing strategy.
- Funding – identify funds available through grants, charitable donors and other foundations, maximizing self-generated funding, city generated funds to assist with financing improvements, and partnerships.

Finally, Action Plans for 1-5 years, 5-10 years, and 10+ years were developed. These Plans were separated into three categories; improvements to existing parks, greenways, and new parks and facilities. The costs for each Action Plan were:

- 1-5 years - \$14,164,488
- 5-10 years - \$20,962,100
- 10+ years - \$19,655,450

Council Member Brown asked how much does conservation easements play into land acquisition for Parks and Recreation use. Mr. Malcolm stated that conservation easements have been instrumental in acquiring property for trails and greenways.

Council Member King stated that one thing he noted from the benchmarking study showed that Concord has 2.34 acres per 1,000 residents but the State average for communities the size of Concord is 17.15 acres. He stated that he feels there are ways for the City to improve. He stated that Concord should be taking advantage of passive areas that can be used for trails and natural greenways. The Council discussed options that could be utilized in increasing park and recreation areas in Concord.

The Deputy City Manager stated that staff is looking for direction from the Council in regards to the results of the studies and the Action Plan.

It was the consensus of the Council to support the Parks and Recreation Comprehensive Master Plan and consider what recommendations and strategies should be included in an action a plan for the next five years. Budget recommendations should focus on facility connectivity and land acquisition, with City officials and staff keeping in mind all potential recreation uses when working with partners.

Transportation Fund update and recommendations

The Transportation Director stated that currently 48 Transportation Fund projects have been completed, 14 active projects are currently ongoing in FY17; 8 are scheduled for FY 18 or post years. Over \$39 million has been appropriated through FY17 (this is not including NCDOT, Federal, private development, and other City of Concord

recycling customers to receive bi-weekly commingled collection from Waste Pro allowing Solid Waste staff to support other areas of need.

Potential use of Naloxone for opioid overdoses

The Police Chief stated the Country, State, County, and community is facing an epidemic in regards to the use, misuse, addiction, and overdose of opioids. The Concord Police Department would like to implement the use of nasal Naloxone for law enforcement similar to what Cabarrus County EMS and the Concord Fire Department currently use. The Naloxone reverses the effects of an overdose. Due to the growing numbers of opioid use in the community the use of Naloxone is warranted by the Police Department. The cost will be approximately \$7,000 to supply each officer with Naloxone.

It was the implement an intranasal naloxone program in the Police Department in partnership with Cabarrus County EMS.

* * * * *

The Public Affairs and Projects Manager reviewed the following goals established during the Planning Session:

- Revisions to the State Legislative agenda will be presented to the Council at the February 9th City Council meeting.
- Allocate General Fund capital reserves to Concord Farms realignment project, should matching dollars be available and use the Transportation Fund for other projects.
- Explore if there are potential funding partners for the Rider Express concept to provide a regional transit connection to the CATS Blue Line Express.
- Transition existing commercial white paper recycling customers to receive bi-weekly commingled collection from Waste Pro allowing Solid Waste staff to support other areas of need.
- Consider funding the identified Phase 1 water system improvements during the upcoming budget.
- To consider a stormwater fee adjustment for the FY18 budget, taking into consideration advice from the Stormwater Management Advisory Committee.
- Participate in and support the 2030 Land Use Plan update process, including working with large land owners on area plans and a focus on special luxury stores and mixed use office development and recruitment.
- Advocate for stability in state economic development efforts and continue to support the Cabarrus EDC's work with strategic partners including the Charlotte Regional Partnership and Economic Development Partnership of NC, and the development of a strategic program of work to drive opportunities for growth in the presented sectors.
- Begin the strategic implementation of the Downtown Master Plan and pursue reuse and marketing opportunities for the City's vacant downtown properties
- Implement an intranasal naloxone program in the Police Department in partnership with Cabarrus County EMS.
- Support the Parks and Recreation Comprehensive Master Plan and consider what recommendations and strategies should be included in an action plan for the next five years. Budget recommendations should focus on facility connectivity and land acquisition with City officials and staff keeping in mind all potential recreation uses when working partners

March 13, 1969

19

REGULAR

MEETING

New Amenities at Echo Park

CCH573

Present: Mayor S. L. Myers

Aldermen: J. W. McGee, Jr., Harold B. McEachern, O. J. Baucom, R. R. Cline, James H. Wilkinson, Jr., L. M. Caldwell, Alfred Brown

1. Invocation by Rev. Robert Yount, Trinity Lutheran Church
2. A hearing was called for the changing from R-3 to B-3 classification the property at intersection of Arbor St., and Earl Ave. near Winn-Dixie. Advertising has been completed and the Planning and zoning Board recommends this change. Leon Lackey, speaking for the residents of Arbor Lane and Circle Drive, stated that this was the only route to school for many school children and requested the Board to deny this change. Mr. Lackey presented a petition to the Board to deny this change with approximately 60 signatures of residents of Arbor Lane and Circle Drive. Attorney Mills speaking for the property owners stated that only one property owner had the legal right to protest and that the property was to be used only as a first class shopping center. After discussion Alderman McEachern made a motion that action on this matter be postponed so that the Board could further study the matter. Alderman Brown seconded the motion and the vote of the Board was unanimous.
3. A motion was made by Alderman Brown that the City purchase metal City Licnese Tags for next year. Seconded by Alderman McGee and the vote of the Board was unanimous.
4. A motion was made by Alderman Brown to confirm assessment roll from Director of Utilities on laying water mains and sewer mains on the following streets: Williamsburg Drive, NE, Burrage Road, NE, Lancelot Circle, NE, Lenmore Court, SE, and Karen Avenue, SE. *see page # 120 & 121 for assessment*
5. Mayor Myers stated the Concord Merchants Association had requested free parking during the Appreciation Days. A motion was made by Alderman McGee that this be granted. It was seconded by Alderman McEachern and unanimously carried by the Board.
6. Mr. W. R. Johnson, City Engineer, presented to the Board plans for the building at the new park. Mayor Myers stated that the cost would be approximately \$86,000.00. Alderman Wilkinson made a motion to advertise for bids on this project. This was seconded by Alderman Cline and the vote of the Board was unanimous.
7. Mayor Myers stated that the City had spent several thousand dollars on the park in Beverly Hills for new equipment, etc. and would like to see the City improve Echo Park. The Recreation Commission recommended buildings new rest rooms, 30 x 27, water fountains, rolling skating rink, basketball and tennis courts. The estimated cost is \$10,125.00. Alderman Cline made the motion to improve this project It was seconded by Alderman McGee and the vote of the Board was unanimous. *(ABC funds)*
8. A motion was made by Alderman Brown to transfer taxicab franchise from Yellow Ball Cab Company to Fred L. Honeycutt, one 1963 Dodge Dart, motor number 7132-55-5276 and recommended by Taxicab Inspector. Alderman Caldwell seconded the motion and the vote of the Board was unanimous.

February 18, 1971

MEETING

Item 7 continued:

NOW THEREFORE, be it resolved, ordained and decreed by the Board of Aldermen of the City of Concord,

That the assessment as made by the City Inspector be deposited with the City Clerk in his office in the City Hall for inspection by all parties interested.

That the Board of Aldermen will sit on the 11th day of March at 7:30 P.M. in the City Hall for the purpose of hearing any and all objections in respect to any of the special assessments above referred to, and at said meeting; assessments will be levied against the property in the manner provided by law and all persons interested are hereby notified to appear and show cause, if any, why the cost of said improvement should not be assessed as set forth in the Inspector's report and why said report should not be confirmed.

Alderman Dorton moved that the Resolution and Assessment as herein presented, be adopted and advertised for public hearing. Seconded by Alderman McCoy, motion passed by unanimous vote of the Board.

8. City Attorney Clyde L. Propst, Jr., presented and read the following Resolution.

RESOLUTION AUTHORIZING THE MAYOR OF THE CITY OF CONCORD TO ENTER INTO AGREEMENTS WITH OTHER POLITICAL SUBDIVISIONS OF THE STATE FOR LAW ENFORCEMENT ASSISTANCE IN EMERGENCIES.

BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF CONCORD, NORTH CAROLINA:

Section 1. The Mayor of the City of Concord is hereby authorized to execute contracts or agreements with such other political subdivisions of the State of North Carolina as to him may seem advisable, pursuant to Section 160-20.2 of the General Statutes of North Carolina, whereby the parties agree to render mutual aid and assistance by the loan of law enforcement officers and/or equipment in time of emergency.

Section 2. Such contracts or agreements shall specify when they shall take effect, and shall be presented to the governing board of each party for ratification at its next regular meeting, or at a special meeting called for that purpose, but any such contract or agreement executed on behalf of this City of Concord shall be in all respects valid and binding on the City of Concord between the time of its final execution and the next regular or special meeting of the Board of Aldermen.

Section 3. This resolution shall be in full force and effect from and after the 18th day of February, 1971.

This the 18th day of February, 1971.

Alm Reese
City Clerk

Alfred M. Brown
Mayor

Motion by Alderman Dorton, seconded by Alderman McEachern that the foregoing Resolution be adopted. Motion passed by unanimous vote of the Board.

9. City Manager requesting permission to develop Echo Park. Item of installing lights at ball field. Approximate cost of \$9,942.00.

Motion by Alderman Edwards that request as herein stated be granted, and that ABC money be used for this project. Motion seconded by Alderman Dorton and passed by unanimous vote of the Board.

Ballfield
lights -
Echo PK

CCH573

September 14, 1972

Regular

MEETING

3 Shelters
Completed -
Echo Park

16. cont.

He further pointed out that the remainder of Section 84 will remain as written and adopted and this includes the necessary restrictions & requirements with which the modular housing will have to comply. On motion by Alderman Wilkinson, seconded by Alderman Edwards and unanimous vote of the Board, the proposed amendment was ordered advertised for public hearing at the October meeting.

Ad. 9-26
E 10-2

17.

On motion by Alderman McEachern, seconded by Alderman McGee and unanimous vote of the Board, the following appointments were made to the Civil Service Board: (a) Ralph A. Barnhardt- reappointed for 3-year term effective August '72 to August '75, (b) W. C. Hagler, appointed to replace Wilbur Furr for 3-year term effective September '72 to September '75.

OK
On Call
Letter written

Mayor Brown requested board members to be thinking of two persons to be appointed to the Zoning Board of Adjustment. 1-alternate and 1-regular, for possible action at the October meeting.

18.

The City Manager gave a progress report on Echo Park, noting that the three (3) picnic shelters have been completed with exception of a gas grill for the large shelter which is presently on order. The Tot lot has been finished and rides replaced and fencing is to be installed next week. He added that some big projects have not been started because we are endeavoring to obtain funds to assist in them and are presently awaiting approval of the grant application. He added that he has received no complaints from anyone, that everyone appears to be pleased with the progress made.

There being no further business, meeting was adjourned.

Respectfully submitted,

Carol C. Burris

Carol C. Burris
City Clerk

DDE549

April 12, 19 73

Regular

MEETING

14. The City Manager noted that he has been advised by letter from Mr. William L. Bondurant, Secretary of the N. C. Department of Administration, that Echo Park Project #37-00295 has been approved in the total amount of \$116,126.00 for the period of March 14th to December 31st, 1973. The City is to be reimbursed for 50% of the total project cost, \$58,063.00, under the Land and Water Conservation Fund agreement. He added that agreement forms must be duly executed and returned. On motion by Alderman Edwards, seconded by Alderman Wilkinson and unanimous vote, the Mayor was authorized to duly execute the agreement forms for the Echo Park Project.

15. Mayor Brown stated he would like to have formal action with regards to the announcement made last week about construction of the new Police Department building on Market Street and also requested that he be authorized to sign the contract with the Architect. He noted that according to information given him, everything is ready to go to the contractor in a week to ten days from last Monday (April 9th) and that allowing 30 days for bid opening, we should be ready to begin around June 1st. Motion entered by Alderman Dorton that Mayor Brown be authorized to enter into and sign contract agreement with Charles M. Grier and Associates, Architect, for construction of a new Police Department facility to be located on Market Street, at the approximate cost of Three Hundred Fifty Thousand Dollars (\$350,000.00) for a two-story building, with cost of the new facility to be paid from the following funds: One-cent Cabarrus County Sales Tax Funds - 2/3 of total cost; and Federal Revenue Sharing Funds - 1/3 of total cost. Motion seconded by Alderman Edwards and carried by unanimous vote.

16. Kelly Almond, City Planner, requested authorization from the Board to work towards obtaining a college student to assist him on various projects during the summer under the PACE program. Under the PACE program the State pays 3/4 of the student's salary for the summer and total cost to the City would be \$230.00 for 480 hours of work. He added that he has a student in mind who is local and is currently attending UNCCC, that he has met and talked with him on two occasions. On motion by Alderman Wilkinson, seconded by Alderman McCoy and unanimous vote, Mr. Almond was granted authorization to proceed with the project.

There being no further business to come before the Board, meeting was declared adjourned at 8:30 p.m.

Respectfully submitted,

Carol C. Burris

Carol C. Burris, City Clerk

CCB:fgn

City Funds for Echo Park Dev. Cont'd.

May 10, 1973

Regular

MEETING

5.

The Board received a request from the City Clerk that the source of city funds (\$58,063.00) to be used in development of Echo Park, be officially designated, in compliance with agreement for the park development which was entered into on April 12th with the State Department of Administration under the Land and Water Conservation Fund. Motion entered by Alderman Wilkinson that ABC funds be used for this project since these funds were used in Myers Park development and the Local Sales Tax revenue and Revenue Sharing Funds are to be used for the new fire department and police department. Mayor Brown recommended that since there is a private donor involved in the city's matching portion of park development funds that this matter be turned over to the Finance Committee. Substitute motion entered by Alderman McEachern, seconded by Alderman Edwards and carried by unanimous vote to refer the matter to the Finance Committee for study and a report back to the Board.

6.

Mayor Brown yielded the floor for any persons in the audience who had business to bring before the Board. Two residents of Rollingwood Drive, Mr. Trull and Mr. Talbert, requested the Board to investigate the possibility of placing drainage pipe along South Union Street to keep the water from running off of South Union into their yards and washing away their land. Mayor Brown noted that he is aware of the situation, that it has been there a good while and requested that the Street Committee be allowed to study the matter with regard to cost and how the problem can be corrected. Motion by Alderman McGee, seconded by Alderman Edwards that the matter be turned over to the Street Committee for study. Carried by unanimous vote.

7.

The following appointments and re-appointments were made to various boards and commissions:

(a) On motion by Alderman McCoy, seconded by Alderman Dorton, and unanimous vote, J. F. Jackson, Sr. was reappointed to a 3-year term on the Zoning Board of Adjustment, said term to be effective January, 1973 through January, 1976.

(b) On motion by Alderman Dorton, seconded by Alderman McCoy, and unanimous vote, Leroy Kelsey was reappointed to a 3-year term on the Board of Cemetery Commissioners, said term to be effective May, 1973 through May, 1976.

(c) On motion by Alderman McGee, seconded by Alderman McEachern, and unanimous vote, Mrs. L. D. Coltrance, III was appointed to a 3-year term on the Board of Cemetery Commissioners, said term to be effective June 1, 1973 through June 30, 1976. Mrs. Coltrance is replacing the late R. C. Crooks, her father, as a member of this Board.

(d) On motion by Alderman McEachern, seconded by Alderman McGee, and unanimous vote, John L. Brown, Jr. was reappointed to a 3-year term on the Board of Light and Water Commissioners, said term to be effective June 1, 1973 to June 1, 1976.

8.

The following Resolution was presented and read by Mayor Brown:

RESOLUTION

WHEREAS, the Rocky River Regional Water Utility System Committee, in its first meeting held on Tuesday, May 8, 1973, by motion duly made, seconded and carried, did appoint and designate the Board of Light and Water Commissioners of the City of Concord, to act as its contracting

DWE549

July 12, 1973

Regular

7:30 p.m.
MEETING

The Annual Operating Budget for 1973-74 was presented for public hearing on final adoption of same. Mayor Brown noted that the budget was tentatively adopted on June 14th, and advertising has been completed in accordance with law and a copy has been on file in the office of the City Clerk from the date of June 14, 1973 for inspection by all interested persons. The City Manager noted that the General Fund budget has been increased in the amount of \$25,317.00, from \$1,839,374.00 to \$1,864,691.00; in order to include additional longevity pay which was approved for firemen and policemen. Also, salaries for two (2) recreation department employees have been adjusted on request of the Park and Recreation Commission and approval of the Finance Committee. These are the only changes in the budget as presented at the June 14th meeting.

On motion by Alderman McCoy, seconded by Alderman Baucom, and unanimous vote, the following Budget Ordinance was approved and adopted:

1973-74 BUDGET ORDINANCE

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF CONCORD,
NORTH CAROLINA:

Section 1. The amount of \$1,864,691.00, as itemized in the 1973-74 Annual Operating Budget, (amended to include longevity pay amounting to \$25,317.00 for policemen and firemen) a copy of which is on file in the office of the City Clerk, and incorporated, by reference, as a part of this ordinance, is hereby appropriated for the operation of the City Government General Fund for the fiscal year beginning July 1, 1973 and ending June 30, 1974.

Section 2. The amount of \$625,022.00, as itemized in the 1973-74 Annual Operating Budget, is hereby appropriated for the Debt Service Fund of the City of Concord, for the fiscal year beginning July 1, 1973 and ending June 30, 1974.

Section 3. The amount of \$430,000.00, as itemized in the 1973-74 Annual Operating Budget, is hereby appropriated for the Capital Improvements Fund of the City of Concord, for the fiscal year beginning July 1, 1973 and ending June 30, 1974.

Section 4. The amount of \$116,126.00, as itemized in the 1973-74 Annual Operating Budget, is hereby appropriated for the Echo Park Development Fund of the City of Concord, for the fiscal year beginning July 1, 1973 and ending June 30, 1974.

Section 5. The amount of \$122,334.00, as itemized in the 1973-74 Annual Operating Budget, is hereby appropriated for the operation of the Park and Recreation Commission of the City of Concord, for the fiscal year beginning July 1, 1973 and ending June 30, 1974.

Section 6. It is estimated that revenues in the amount of \$3,158,173.00, as itemized in the 1973-74 Annual Operating Budget (all sections), will be available during the fiscal year beginning July 1, 1973 and ending June 30, 1974, to meet the foregoing appropriations.

Section 7. There is hereby levied the following tax on each one hundred dollars (\$100.00) valuation of taxable property, as listed for taxes as of January 1, 1973, for the purpose of raising revenue for current year's property tax as set forth in the foregoing estimates of revenue, and

Echo
Park
Dev. Fund
11.

DDE549

Echo Park
Fund Budget

BOARD OF ALDERMAN
CITY OF CONCORD

CONCORD, N. C.

101

July 18 19 74

7:30 p.m.

REGULAR

MEETING

Cont'd.:

10.

~~Alderman James L. Dorton offered the foregoing resolution and moved its adoption, which was seconded by Alderman Hector H. Henry II and was duly adopted.~~

~~by: /s/ Carol C. Parry
City Clerk~~

11. ✓

At the request of the City Clerk and on motion by Alderman Howard, second by Alderman Henry and unanimous vote, the City Clerk was authorized to advertise for bids on the following equipment which has been approved in the 1974-75 budget:

- (a) New car for Planning Department
- (b) New jeep for Recreation Department

12. ✓

The Board was requested to pass on Ordinances amending the 1973-74 Annual Operating Budgets for (1) General Fund (2) Recreation Fund and (3) Capital Improvements Fund. Mayor Brown called on the City Clerk for explanation. She informed the Board that in the event any line item accounts are over-expended during a budget year, it is necessary that the Board adopt such ordinances which serves to re-distribute any un-expended funds of line items to those line items that are over-expended. She further reported that there is no need to increase the overall budgets for either the General Fund or the Recreation Fund in that both total budgets were under-expended sufficiently to allow for the re-distribution of funds as stated in the Ordinances. She pointed out that the Capital Improvements Funds was over-expended in the amount of \$25,000.00 but that sufficient Sales Tax revenue was available and was used to balance the over-expenditure. As a matter of information she advised the Board that the General Fund was under-expended by some \$16,000.00

On motion by Alderman McEachern, seconded by Alderman Dorton, three Ordinances (1) To amend 1973-74 Annual Operating Budget General Fund (2) To amend 1973-74 Annual Operating Budget Recreation Fund and (3) To amend 1973-74 Annual Operating Budget Capital Improvements Fund were unanimously adopted as presented. (clerk's note: the ordinances as adopted are inserted herein marked Agenda Item 12-a; 12-b; and 12-c are ~~inserted herein~~ and incorporated fully as a part of these minutes.)

13. ✓

The Board was requested to pass on an Ordinance amending the 1974-75 Annual Operating Budget as adopted July 1, 1974 in order to accomplish the following changes:

(a) to incorporate the Echo Park Development Fund Budget as a part of the overall budget ordinance which was approved and adopted July 1, 1974.

(b) to increase the city's appropriation to the Cabarrus County Community Relations Commission in the amount of \$3,333.00 which was approved July 1st to cover the city's proportionate share for a Field Coordinator to be employed by the Commission.

EEC881

November 14, 1974

7:30 p.m.
MEETING

REGULAR

Park
name
change
3. ✓

The Board was requested to adopt an Ordinance to concur with an Ordinance as adopted by the N. C. Department of Transportation, establishing a 55 mph speed limit on Branchview Drive, from Corban Avenue to the northern corporate limits (approx. 200 feet North of Burrage Road). Mayor Brown pointed out that Branchview is a state road and the N. C. Department of Transportation has the authority to establish the speed limit. Alderman Henry questioned if the Board denies the Ordinance, if the speed limit would remain the same. Mayor Brown noted it is his understanding that wherein local law is inconsistent with State law, the State law takes precedent. Mr. Propst suggested that the words 'heartily supported and' be stricken from the proposed Ordinance.

Motion entered by Alderman Howard to adopt the Ordinance as presented except the words 'heartily supported and' be stricken. Motion was seconded by Alderman Dorton.

Alderman Henry noting opposition, stated he feels this is too much speed for this road and that if the Board would go on record as opposing it we might stand a chance of having it reduced. There was no further discussion.

On call for the question, the following Ordinance was adopted by majority vote with Aldermen Henry and McGee opposing:

AN ORDINANCE FOR CONCURRING A SPEED LIMIT ON
BRANCHVIEW DRIVE (N.C. 136)

WHEREAS, the North Carolina Department of Transportation has found that it would be in the best interest of the public for traffic to move expeditiously along Branchview Drive (N.C. 136) and

WHEREAS, that agency has determined that a speed limit of 55 miles per hour would be not only safe for those traveling said road, but also proper for achieving desired traffic flow,

NOW, THEREFORE, BE IT RESOLVED by this Board of Aldermen of the City of Concord that a speed limit of 55 miles per hour as established by the North Carolina Department of Transportation for Branchview Drive (N.C. 136) between Corban Ave. and the Northern City Limits be adopted.

This the 14th day of November, 1974.

Alfred M. Brown
/s/ Alfred M. Brown
Mayor

ATTEST:

Carol C. Burris
/s/ Carol C. Burris
City Clerk

4. ✓ The Board was requested to consider a request to change the name of Echo Park to MARVIN H. CALDWELL PARK. Mayor Brown yielded to Mr. Robert Mathis, who presented petitions bearing names of residents in the Ward 4 area, said petitions making the formal request as above noted. Mr. Mathis, President of the Civic Improvement League, stated he feels that everyone is aware of what Mr. Caldwell has done for this community and it is felt that it would be most fitting to honor his memory in this manner.

On motion by Alderman Edwards, seconded by Alderman Henry, the change of the name of Echo Park to MARVIN H. CALDWELL PARK was unanimously approved and ordered.

(clerks note: petitions referred to hereinabove have been placed on file in the records of this Board and the same are hereby incorporated fully as a part of these minutes.)

EEC881

BOARD OF ALDERMAN
CITY OF CONCORD

CONCORD, N. C.

163

March 13, 1975

REGULAR

7:30 p.m.
MEETING

Presiding: Mayor Alfred M. Brown

Aldermen Present: Hector H. Henry, II; James L. Dorton; J. W. McGee, Jr.;
Bernie Edwards; John A. Howard, Jr.; Harold B. McEachern

Aldermen Absent: C. T. Sherrill, Sr.

Staff Present: W. C. Hamann, City Manager; D. Kelly Almond, Ass't. City
Manager; Clyde L. Propst, Jr., City Attorney; Hubert Hartsell,
St. Supt.; John Roberson, Rec. Director; Jack Moore, Chief of
Police; Fred W. Lippard, Fire Chief; Carol C. Burris, Clerk/Treas.

1. Meeting called to order at 7:30 p.m. whereupon Invocation was given by Alderman McEachern.

2. ✓ Mayor Brown called on Dr. Wallace Early, Chairman of the Citizens' Advisory Committee on Community Development Funding, to present the Committee's schedule of recommended project priorities for community development funding to the Board for consideration and possible final adoption.

Dr. Early, first of all, expressed appreciation to members of the Committee and staff workers for the 'excellent work' which they rendered in determining recommended projects to be included in the community development application. Dr. Early reviewed background of the Community Development Act, noting that it is a federal plan under the Department of Housing & Urban Development (HUD), the primary objective of which is to provide low and moderate income neighborhoods with housing and public improvements. The Act covers a three-year period but is to be funded on a yearly basis. He noted further that North Carolina has been allocated \$11.8 million for municipalities that are in the same category as Concord. When the funds became available, it then became necessary for the City of Concord to identify its needs. Therefore, the Citizen's Advisory Committee on community development was organized to establish such needs. He explained that the committee's task was to hold public hearings in order to obtain maximum input from the citizens as to what they feel the needs are, to evaluate the input from these meetings and establish the needs as projects, to establish priorities of such projects, to submit the project priorities to the Board of Aldermen for its action, and finally to submit the City's application to Centralina Council of Government by April 15th. He noted that three public hearings had been held, the first at City Hall, the second at First Christian Church on Rone Avenue, and the third at Long Elementary School. He stated that the meetings were well attended and that the Committee had heard, and all comments the citizens had, and that the concerns and needs expressed were genuine and realistic, that there were no 'pet projects', and that all needs expressed, it is felt, would greatly benefit the communities involved. Dr. Early continued, noting that after the three public hearings were held, the Committee held two meetings in which they evaluated the input from the public meetings. A fourth public meeting was then held at which time the Committee announced its schedule of project priorities that the Committee would present to the Board of Aldermen. He added that no dissention was expressed at this public meeting, on either the projects or the priorities. Dr. Early then presented the Committee's schedule of project priorities covering five (5) major projects which are: (1) housing improvements and code enforcement; (2) water and sewer facilities in Sidestown/Shankletown communities; (3) development of Logan School as a Community Center; (4) Erection of a multi-purpose recreational facility at Caldwell Park; and (5) upgrading of recreational facilities at McAllister and Webb Fields. He noted that the projects have been worked into a three-year program at an estimated cost of \$1,471,000.00. Dr. Early stated further that even if no money is allocated to Concord for the projects

Multi-purpose Bldg at Caldwell Park

EEC881

Naming
of comm. Bldg
in park.

545

3-11-1999

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

/s/ George W. Liles, Mayor

ATTEST: /s/ Vickie C. Weant, City Clerk

This date and time was established in order to reopen and conduct a public hearing relative to a supplemental commercial/retail grant with King's Grant Conference Hotel, LLC. The public hearing, having been duly advertised, was opened by Mayor Liles.

No comments were received. Therefore, the public hearing was closed.

A motion was made by Councilman Phillips, seconded by Councilman Henry, and duly carried, to take no action on this matter at the present time—the vote: all aye.

This date and time was established in order to reopen and conduct a public hearing relative to the conveyance of a fifteen acre tract to King's Grant Conference Hotel. The public hearing, having been duly advertised, was opened by Mayor Liles.

No comments were received. Therefore, the public hearing was closed.

A motion was made by Councilman Henry, seconded by Councilman Barrier, and duly carried, to take no action on this matter at the present time—the vote: all aye.

It was requested that the City Council consider an appeal from Mr. Robert E. Watson relative to a rezoning request for property located at 2417 Kannapolis Highway from R-4 to B-3 that was denied by the Planning and Zoning Commission and consider establishing a public hearing.

A motion was made by Councilman Brown, seconded by Councilman Barrier, and duly carried, to deny the public hearing request and uphold the decision of the Planning and Zoning Commission—the vote: aye: Brown, Small, Barrier, Phillips; no: Ramseur, Padgett, Henry.

Councilman Small stated that Mrs. Elnora Pharr Barrier was requesting that the City Council consider naming the new community building at Caldwell Park the "Daniel Pharr Community Building". He introduced Mrs. Barrier to speak to the Council on behalf of her family.

Mrs. Barrier stated that she was the designated heir of Mr. Daniel Pharr. She stated that her father decided to donate land to the City, but died before the legal process was complete. It was his wish that his wife proceed with the donation of the property, which was finalized in 1966. She stated that it would be an honor to have the building named after her father.

Councilman Small asked those supporting the naming of the building in memory of Mr. Pharr to stand. He stated that there was no opposition.

Dan Pharr
uplift

5-11-2017

State in Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such a map shall also be delivered to the County Board of Elections, as required by G.S. 163-288.1.

SECTION 4. Notice of adoption of this ordinance shall be published once, following the effective date of annexation, in a newspaper having general circulation in the City of Concord.

Adopted this 11th day of May, 2017.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

/s/ J. Scott Padgett, Mayor

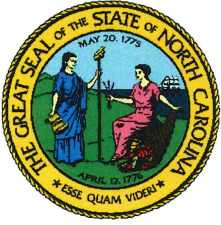
ATTEST: /s/ Kim Deason, City Clerk

/s/ VaLerie Kolczynski, City Attorney

It was requested the Council consider authorizing the City Manager to negotiate and execute a contract with Ratzlaff Construction, LLC for the up fit and addition to the Daniel Pharr Community Building located in Caldwell Park. This project includes the addition of 825 square feet of assembly space, adding new flooring to the entire building, new kitchen fixtures, HVAC to the new space, exterior repairs, and painting the building inside and outside. Based on the estimated cost of the proposed addition and renovations the project was bid under the informal bidding range rule, seven contractors were invited to submit bids, but only one submitted a bid. Ratzlaff Construction, LLC submitted a bid to accomplish the proposed work for \$125,224. Under the informal bidding rules, a contract can be awarded even if only one bid is received.

A motion was made by Mayor Pro-Tem Small, seconded by Council Member King, and duly carried, to authorize the City Manager to negotiate and execute a contract with Ratzlaff Construction, LLC in the amount of \$125,224 for the up fit and additions to the Daniel Pharr Community Building located in Caldwell Park—the vote: all aye.

It was requested the Council consider awarding a contract with KMD Construction, LLC of Salisbury, North Carolina for construction of the Traffic Management Center and Signals Operations facility and adopt the attached budget amendment. The City of Concord established a Traffic Signal Division in Spring 2005. Staff were originally assigned a work area in the Alfred M. Brown Operations Center (BOC) warehouse in 2006 and in 2007 moved to the former Police Department building (30 Market Street). Construction of the new City Hall, and the desire to utilize the area occupied at 30 Market St, requires the Signals Division to find a new location. Extensive research was performed to find the optimal and most practical location. The search resulted in the selection of a part of the 30-acre parcel known as the Robinson property which was



ROY COOPER
GOVERNOR

NORTH CAROLINA
STATE BUREAU OF INVESTIGATION

3320 Garner Road
P.O. BOX 29500
Raleigh, NC 27626-0500
(919) 662-4500
FAX: (919) 662-4523



ROBERT SCHURMEIER
DIRECTOR

January 3, 2022

Dear Chief Gacek:

Many of us faced significant challenges in 2021, from pandemic related problems, law enforcement culture issues, budget matters, significant manpower shortages and several other trials. In the area of Internet Crimes Against Children (ICAC), we also had substantial hurdles in what became a record setting year. With these hardships, we also saw numerous victories, most importantly the literally **hundreds** of children that were identified and rescued from the homes and hands of those that were committing horrific acts against them. These children are the core of why ICAC investigations and the ICAC Task Force are so critical. Thank you for your agency's efforts in this continual fight to save children and apprehend those who are attempting to harm them.

As mentioned, 2021 was a record setting year, and I've included information about the significant increase in CyberTips we have seen over the last couple of years. Looking at this data, you can notice the monthly numbers show this trend is still continuing. Due to this increase, the NC Legislature took action and included \$3,000,000 in the state budget which will provide grant funding for ICAC directly to local agencies. These grants will be awarded and administered by the NC Sheriff's Association and details about the grant program are still being worked out, but more information should be coming soon. I've included an excerpt from the state budget for your reference. Please feel free to use this CyberTip data, along with your local statistics, to attempt to gain additional ICAC resources for your area and let us know if we can be of assistance in that process.

To continue to try to provide you relevant information, and to aid in reconciling of open CyberTips, as of today's date, we show that there are 62 CyberTips open in the ICACDataSystem (IDS) for investigation by your agency. Your case management is specific to your agency and we only provide this number for your information. If this number is different than your expectation, please check with your investigators to inquire about information in the ICAC Data System. If you need any assistance with any of these investigations, have further questions, or if we can be of assistance in any way, please reach out to the SBI Computer Crimes agent in your area (see enclosed map), or feel free to reach out to their respective ASAC or myself.

We value your continued partnership and efforts in the fight to protect children in your jurisdiction, across the state, and ultimately around the globe. Your ICAC investigators are what make the NC ICAC program so successful!

Enclosures

Sincerely,



Kevin Roughton

Special Agent in Charge

Commander, NC ICAC Task Force

**EXCERPT FROM PAGE 368 OF
SENATE BILL 105 /
SESSION LAW 2021-180**

BUDGET FOR STATE OF NORTH CAROLINA

INTERNET CRIMES AGAINST CHILDREN INVESTIGATIONS

SECTION 19A.4.(a) Of the funds appropriated in this act to the Department of Public Safety, the sum of three million dollars (**\$3,000,000**) in nonrecurring funds in the 2021-2022 fiscal year shall be allocated to the **North Carolina Sheriffs' Association, Inc.**, a nonprofit corporation, to be used as grants to sheriffs' offices and other local law enforcement agencies to investigate reports of internet crimes against children.

SECTION 19A.4.(b) The grant funds allocated under subsection (a) of this section shall be administered by the North Carolina Sheriffs' Association, which shall develop guidelines and procedures for the administration and distribution of grants to **participating sheriffs' offices and local law enforcement agencies**. These guidelines and procedures shall include the following requirements and limitations:

- (1) The maximum grant amount shall not exceed seventy-five thousand dollars (\$75,000) per recipient per fiscal year.
- (2) Recipient agencies shall be required to enter into a memorandum of agreement with the State Bureau of Investigation (SBI) governing the investigation of internet crimes against children.

SECTION 19A.4.(c) The North Carolina Sheriffs' Association shall submit the following reports to the chairs of the Joint Legislative Oversight Committee on Justice and Public Safety, to the chairs of the House and Senate Appropriations Committees on Justice and Public Safety, and to the Fiscal Research Division:

- (1) No later than February 1, 2022, a report on the guidelines and procedures that will govern distribution and administration of grant funds distributed pursuant to this section.
- (2) No later than October 1 of each year of the 2021-2023 fiscal biennium, as long as funds remain, a report on grant funds distributed pursuant to this section.

SECTION 19A.4.(d) It is the intent of the General Assembly to strongly encourage sheriffs to enter into memoranda of agreement with the SBI to expeditiously investigate reports and tips regarding internet crimes against children and to consult with the SBI Computer Crimes Unit and North Carolina Internet Crimes Against Children Task Force.

SECTION 19A.4.(e) Funds provided to sheriffs' offices pursuant to this section shall be supplemental to and shall not supplant local funding for sheriffs' offices.

SECTION 19A.4.(f) Notwithstanding any other provision of law, funds allocated under subsection (a) of this section shall not revert **until June 30, 2023**.



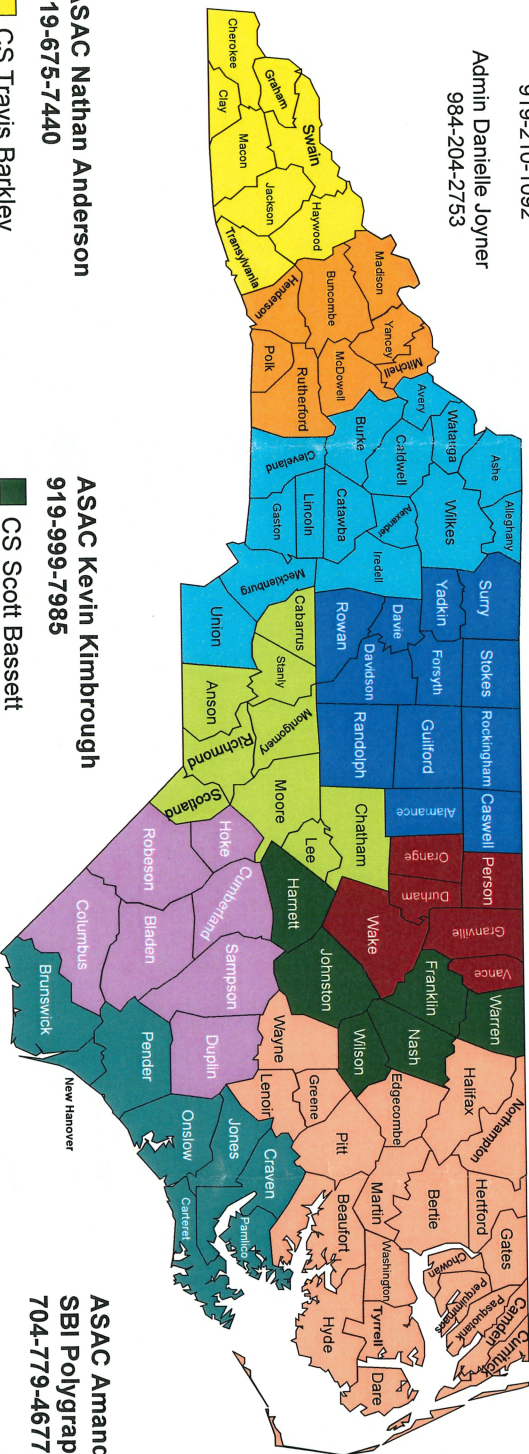
North Carolina State Bureau of Investigation Computer Crimes Unit

SAC Kevin Roughton
919-441-7837

Sr. Analyst Tiffany Pate
919-538-4115

Analyst Kieran Jones
919-210-1092

Admin Danielle Joyner
984-204-2753



ASAC Nathan Anderson
919-675-7440

CS Travis Barkley
919-830-8880

CS Rodney White
919-999-7986

CS Mac Meadows
828-989-7970

CS Chris Chambliss and TFAs
828-850-5925

TFA Michael Hanson
828-260-0446

TFA Nathaniel "Bubba" Calvert
828-387-5994

ASAC Kevin Kimbrough
919-999-7985

CS Scott Bassett
919-397-6598

CS Dee Pulliam and TFA
910-489-9634

TFA Thomas Hinebine
774-313-0768

CS Cesar Gutierrez
919-740-8542

CS Ray Oliver
919-214-1782

Vacant Position

ASAC Amanda Nosalek
SBI Polygraph Program
704-779-4677

ASAC Chad Barefoot
910-303-4804

CS Chris Brown
919-208-7656

CS Jason Miranda
984-365-6055

CS Courtney Dail
828-713-7526

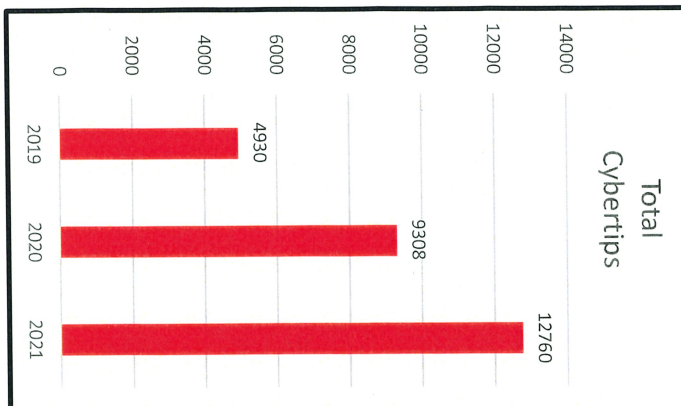
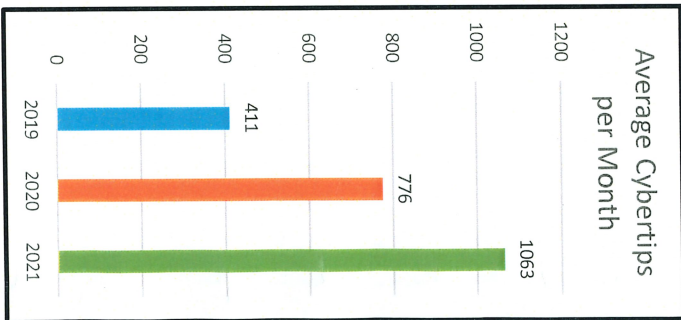
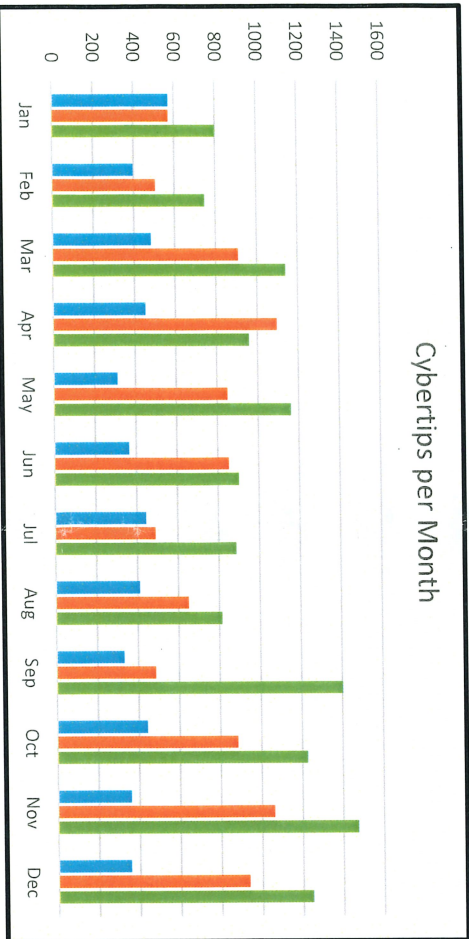
CS Mark Uvalle and TFA
252-214-9019

TFA Keith Lassiter
252-287-6604

2021 North Carolina ICAC / CyberTip Stats

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
2019	573	397	483	453	313	365	446	411	332	442	360	355	4930
2020	573	507	910	1098	850	855	491	650	486	887	1063	938	9308
2021	799	746	1142	959	1162	904	887	813	1403	1226	1472	1247	12760

Average Cybertips 2019	411
Average Cybertips 2020	776
Average Cybertips 2021	1063



Updated: 1/1/2022



MEMORADUM

DATE: Thursday, January 27, 2022
 TO: Sue Hyde, Director of Engineering
 FROM: Gary Stansbury, Construction Manager
 SUBJECT: Infrastructure Acceptance
 PROJECT NAME: Heritage at Moss Creek Subdivision
 PROJECT NUMBER: 2020-024
 DEVELOPER: Forestar Real Estate Group, Inc.- USA
 FINAL CERTIFICATION - LOT NUMBERS: 15-35, 56-69
 INFRASTRUCTURE TYPE: Water and Sewer
 COUNCIL ACCEPTANCE DATE: Thursday, February 10, 2022
 ONE-YEAR WARRANTY DATE: Thursday, February 09, 2023

Water Infrastructure	Quantity
8-inch in LF	409.15
6-inch in LF	785.14
6-inch Valves	2
2-inch in LF	335.93
2-inch Valves	2
Hydrants	4

Sanitary Sewer Infrastructure	Quantity
8-inch in LF	1218.00
Manholes as EA	9

NORTH CAROLINA
CABARRUS COUNTY

**STORMWATER CONTROL MEASURE (SCM), ACCESS EASEMENT AND
MAINTENANCE AGREEMENT**

THIS STORMWATER CONTROL MEASURE (SCM), ACCESS EASEMENT AND MAINTENANCE AGREEMENT (“Agreement”), made this _____ day of _____, 2021, by Megawash Concord, LLC, a North Carolina limited liability company, whose principal address is 315 Spring Garden St. 1B, Greensboro, NC 27401 (hereinafter referred to as “Grantor-Mega”), Jack’s Heavy Concord, LLC, a North Carolina limited liability company, whose principal address is 315 Spring Garden St. 1B, Greensboro, NC 27401 (hereinafter referred to as “Grantor-Jack’s”) and Concord Housing, LLC a North Carolina limited liability company, whose principal address is 2918-A Martinsville road, Greensboro, NC 27401 (hereinafter referred to as “Grantor-Concord Housing”), (collectively hereinafter referred to as “Grantors”) with, to, and for the benefit of the City of Concord, a municipal corporation of the State of North Carolina, whose address is P.O. Box 308, Concord North Carolina 28026-0308, (hereinafter “Grantee” or “City”).

WITNESSETH:

WHEREAS, THE CITY COUNCIL ACCEPTED THIS STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT ON _____
_____.

WHEREAS, Grantor-Mega and Grantor-Jack’s are the owners in fee simple of certain real property situated in the City of Concord, County of Cabarrus, North Carolina and more particularly described as follows: 4165 Concord Parkway South, Concord, NC, Cabarrus County Property Identification Number (PIN): 5509-21-7392. It being the same land described in deed recorded in Book and Page 14792/325 in the Office of the Register of Deeds for Cabarrus County (hereinafter referred to as the “Property”); and

WHEREAS, Grantor-Concord Housing executed a Memorandum of Ground Lease With Option to Purchase filed in Deed Book and Page 14792/332 in the Office of the Register of Deeds for Cabarrus County; and

WHEREAS, Grantors desire to develop or redevelop all or portions of the Property; and

WHEREAS, the Property is located within the planning jurisdiction of the City of Concord, and is subject to certain requirements set forth in the City of Concord Code of Ordinances Chapter 60, the Concord

Development Ordinance, (hereafter “CCDO”), and the Concord Technical Standards Manual (hereafter “Concord Manual”); and

WHEREAS, conditions for development and/or redevelopment of the Property includes (i) the construction, operation and maintenance of an engineered stormwater control structure, namely a Wet Detention Basin, as provided in the CCDO and the Concord Manual (the “Stormwater Control Measure” or “SCM”), (ii) Grantors’ dedication of a non-exclusive access easement to the City, as described in this Agreement, for inspection and maintenance of the Stormwater Control Measure; and (iii) the assumption by Grantor of certain specified maintenance and repair responsibilities; and

WHEREAS, this Agreement and the easements created herein are established in accordance with the requirements of N.C.G.S. Sec 143-211 *et. seq.*, Article 4 of the CCDO and Article I of the Concord Manual; and

WHEREAS, Grantors have the full authority to execute this Agreement so as to bind the Property and all current and future owners and/or assigns.

NOW, THEREFORE, for valuable consideration, including the benefits Grantor may derive there from, the receipt and sufficiency of which is hereby acknowledged, Grantors hereby dedicate, bargain, grants and convey unto Grantee, and its successors and assigns, a perpetual, and irrevocable right and non-exclusive easement in gross (of the nature and character and to the extent hereinafter set forth) in, on, over, under, through and across those portions of the Property shown on the attached **Exhibit “A” titled “Easement Plat” and labeled “SCM Maintenance Easement +- 2.406 Ac.”** for the purpose of inspection and maintenance of the Stormwater Control Measure (hereinafter referred to as “SCM Easement”). Within the SCM Easement Grantors shall conduct best management practices as more fully set forth herein and in the CCDO and Concord Manual. Also within the SCM Easement, Grantors shall construct, maintain, repair and reconstruct the Stormwater Control Measure or SCM, which include (i) the SCM and any other stormwater quantity and/or quality control devices and/or structures, described on the plans approved by the City of Concord and filed at the A.M. Brown Operations Center, 850 Warren Coleman Blvd., Concord, NC 28025; and (ii) access to the aforesaid SCM as shown on the attached **Exhibit “A” titled “Easement Plat” and labeled “SCM Access Easement +- 0.459 Ac.”** for the purpose of permitting City access, inspection and, in accordance with the terms of paragraph 4 of this Agreement, maintenance and repair of the SCM, as more fully set forth herein and in the CCDO and Concord Manual. Except as set forth herein, nothing contained in this Agreement shall be deemed to be a gift or dedication of any portion of Grantors’ Property to the general public or for any public use or purpose whatsoever, and further except as specifically provided herein for the benefit of the City, no rights, privileges or immunities of Grantors shall inure to the benefit of any third-party, nor shall any third-party be deemed to be a beneficiary of any of the provisions contained herein.

The additional terms, conditions, and restrictions of this Agreement are:

1. The requirements pertaining to the SCM Easements are more fully set forth in the current adopted and published editions of the following four (4) documents: (i) Article 4 of the CCDO, (ii) Article I, Section 1 of the Concord Manual, (iii) the Wet Detention Basin Inspection and Maintenance Plan attached as **Exhibit “B”** and (iv) as provided in the N.C. Dept. of Environment and Natural Resources (DENR) Stormwater Best Management Practices (BMP) Manual (the “NCDENR Manual”), all of which are incorporated herein by reference as if set forth in their entireties below. Grantors agree to abide by all applicable codes including, but not limited to, those set forth above. All provisions required by the CCDO Section 4.4.6.B.1 are incorporated herein by reference, and Grantors agree to abide by said provisions. Grantors further agree that Grantors shall perform the following, all at its sole cost and expense:

- a. All components of the SCM and related improvements within the SCM Easements are to be kept in good working order.
- b. The components of the SCM and related improvements within the SCM Easements shall be maintained by Grantors as described in “**Exhibit B**”, the Wet Detention Basin Inspection and Maintenance Plan.

2. Upon completion of the construction of the SCM, Grantors’ N.C. registered professional engineer shall certify in writing to the Concord Director of Water Services that the SCM and all components are constructed and initially functioning as designed. Annual inspection reports (hereinafter referred to as “Annual Report(s)”) are required each year and shall be made by Grantors on the written schedule provided to Grantors in advance by the City. The Annual Report(s) shall describe the condition and functionality of the SCM, and shall describe any maintenance performed thereon during the preceding year. The Annual Report(s) shall be submitted with the signature and seal of Grantors’ N.C. registered professional engineer conducting the inspection. If necessary, the City will provide a letter describing the maintenance necessary to keep the SCM and all components and structures related to the SCM functioning as designed and with reasonable timeframes in which to complete the maintenance. If the Annual Report(s) recommends maintenance actions, the repairs shall be made within a reasonable time as defined by the City.

Grantors and Grantee understand, acknowledge and agree that the attached Inspection and Maintenance Plan describes the specific actions needed to maintain the SCM.

3. Grantors represent and warrant that Grantors are financially responsible for construction, maintenance, repair and replacement of the SCM, its appurtenances and vegetation, including impoundment(s), if any. Grantors agree to perform or cause to be performed the maintenance as outlined in the attached Inspection and Maintenance Plan and as provided in the NC DENR Manual. Grantors and any subsequent transferee of Grantors or succeeding owner of the Property shall give the City written notice of the transfer of a fee or possessory interest in the Property listing the transferee’s name, address of the Property, transferee’s mailing address and other contact information. Grantors and any subsequent transferee of Grantors or succeeding owner of the Property shall not be responsible for errors or omissions in the information about the transferee provided to the City caused by acts or omissions of the transferee. The transferee shall give the City written notice of the acceptance and any future transfer of an interest in the Property listing the transferee’s name, address of the Property; transferee’s mailing address and other contact information. Upon the conveyance of the Property by Grantors to any transferee acquiring the Property by means of a conveyance document containing the language set forth in paragraph 9 below, Grantors are released from any further covenants or other obligations set forth in this Agreement.

4. If Grantors fail to comply with these requirements, or any other obligations imposed herein, in the City of Concord Code of Ordinances, CCDO, the Concord Manual or approved Inspection and Maintenance Plan, the City of Concord may perform (but is not obligated to perform) such work as Grantors are responsible for and recover the costs thereof from Grantors.

5. This Agreement gives Grantee the following affirmative rights:

Grantee, its officers, employees, and agents may, but is not obligated, to enter the SCM Easements whenever reasonably necessary for the purpose of inspecting same to determine compliance herewith, to maintain same and make repairs or replacements to the SCM, their appurtenances and condition(s) as may be necessary or convenient thereto in the event Grantor defaults in its obligations and to recover from

Grantors the cost thereof, and in addition to other rights and remedies available to it, to enforce by proceedings at law or in equity the rights, covenants, duties, and other obligations herein imposed in this Agreement.

6. Grantors shall neither obstruct nor hinder the passage of vehicular traffic and pedestrians within the paved portion of the access easement granted herein by Grantors to Grantee.

7. Grantors shall, in all other respects, remain the fee owners of the Property and areas subject to the SCM Easements, and may make all lawful uses of the Property not inconsistent with this Agreement and the Easements granted herein.

8. Grantee neither waives nor forfeits the right to act to ensure compliance with the terms, conditions and purposes of the SCM Easements and this Agreement by a prior failure to act.

9. Grantors agree:

a. That a reference to the deed book and page number of this document in a form substantially similar to the following statement in at least a 12 point bold face font on the first page of the document: **“Notice: The Properties are subject to a Stormwater Control Measure (SCM), Access Easement and Maintenance Agreement enforced by the City of Concord and State of North Carolina recorded in the Cabarrus County Registry at DB _____ PG _____.”** shall be inserted by Grantor in any subsequent deed or other legal instrument by which Grantors may be divested of either the fee simple title to or possessory interests in the subject Property. The designation Grantor and Grantee shall include the parties, their heirs, successors and assigns; and

b. That the following statement shall be inserted in any deed or other document of conveyance:

“Title to the properties hereinabove described is subject to the following exceptions:

That certain Stormwater Control Measure (SCM), Access Easement and Maintenance Agreement dated _____, 2021 with and for the benefit of the City of Concord, recorded in Book _____, Page _____ in the Cabarrus County Registry, North Carolina, creating obligations of payment and performance on the part of Grantors which Grantee hereby assumes and agrees to perform and pay as part of the consideration of this conveyance and except further that this conveyance is made subject to any and all enforceable restrictions and easements of record (if applicable).”

In the event that such conveyance is other than by deed, the above terms of “grantor/grantee” may be substituted by equivalent terms such as “landlord/tenant.”

TO HAVE AND TO HOLD the aforesaid rights, privileges, and easements herein granted to Grantee, its successors and assigns forever and Grantors do covenant that Grantors are seized of said premises in fee and has the right to convey the same, that except as set forth below the same are free from encumbrances and that Grantors will warrant and defend the said title to the same against claims of all persons whosoever.

Title to the Properties hereinabove described is subject to all enforceable deeds of trust, liens, easements, covenants and restrictions of record.

The covenants agreed hereto and the conditions imposed herein shall be binding upon Grantors and their agents, personal representatives, heirs and assigns and all other successors in interest to Grantors and shall continue as a servitude running in perpetuity with the above-described land.

THE CONCORD CITY COUNCIL APPROVED THIS AGREEMENT AND SCM ACCESS EASEMENTS AND ACCEPTED THE SCM ACCESS EASEMENT AT THEIR MEETING OF _____, 2021 AS ATTESTED TO BELOW BY THE CITY CLERK. CONCORD CITY COUNCIL APPROVAL OF THIS AGREEMENT AND EASEMENT IS A CONDITION PRECEDENT TO ACCEPTANCE BY THE CITY.

IN WITNESS WHEREOF, the parties have caused this instrument to be duly executed day and year first above written.

GRANTOR-MEGA:

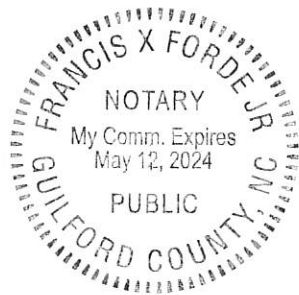
Megawash Concord, LLC, a North Carolina limited liability company

By: *Joseph A. McKinney, Jr.*
Name: JOSEPH A. MCKINNEY, JR.
Title: Manager

STATE OF NORTH CAROLINA
COUNTY OF GUILFORD

I, FRANCIS X. FORDE, JR., a Notary Public of the aforesaid County and State, do hereby certify that JOSEPH A. MCKINNEY, JR. personally appeared before me this day and acknowledged that he/she is the Manager of Megawash Concord, LLC, a North Carolina limited liability company, and that he/she, being authorized to do so, executed the foregoing on behalf of the company.

WITNESS my hand and Notarial Seal this the 30th day of DECEMBER, 2021



Francis X. Forde, Jr.
Notary Public
My commission expires: MAY 12, 2024

GRANTOR-JACK'S:

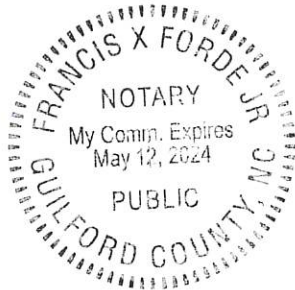
Jack's Heavy Concord, LLC, a North Carolina limited liability company

By: *Joseph A. McKinney Jr.*
Name: JOSEPH A. MCKINNEY JR.
Title: Manager

STATE OF NORTH CAROLINA
COUNTY OF GUILFORD

I, FRANCIS X. FORDE, JR., a Notary Public of the aforesaid County and State, do hereby certify that JOSEPH A. MCKINNEY, JR. personally appeared before me this day and acknowledged that he/she is the Manager of Jack's Heavy Concord, LLC, a North Carolina limited liability company, and that he/she, being authorized to do so, executed the foregoing on behalf of the company.

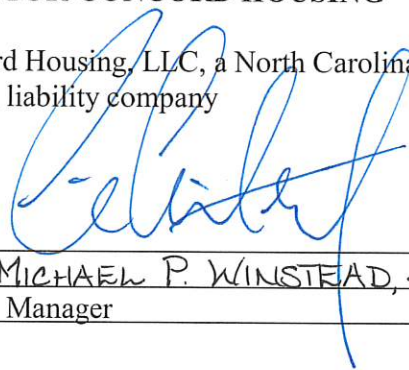
WITNESS my hand and Notarial Seal this the 30th day of DECEMBER, 2021



Francis X. Forde Jr.
Notary Public
My commission expires: MAY 12, 2024

GRANTOR-CONCORD HOUSING

Concord Housing, LLC, a North Carolina limited liability company

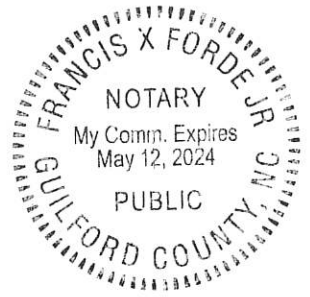


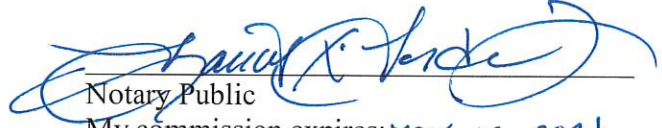
By: _____
Name: MICHAEL P. WINSTEAD, JR.
Title: Manager

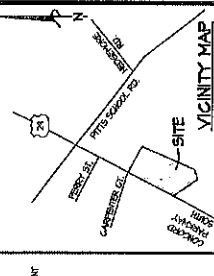
STATE OF NORTH CAROLINA
COUNTY OF GUILFORD

I, FRANCIS X. FORDE, JR. a Notary Public of the aforesaid County and State, do hereby certify that MICHAEL P. WINSTEAD, JR. personally appeared before me this day and acknowledged that he/she is the Manager of Concord Housing, LLC, a North Carolina limited liability company, and that he/she, being authorized to do so, executed the foregoing on behalf of the company.

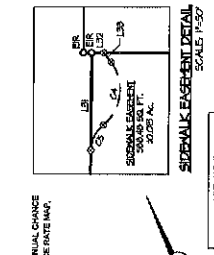
WITNESS my hand and Notarial Seal this the 30th day of DECEMBER, 2021




Notary Public
My commission expires: MAY 12, 2024



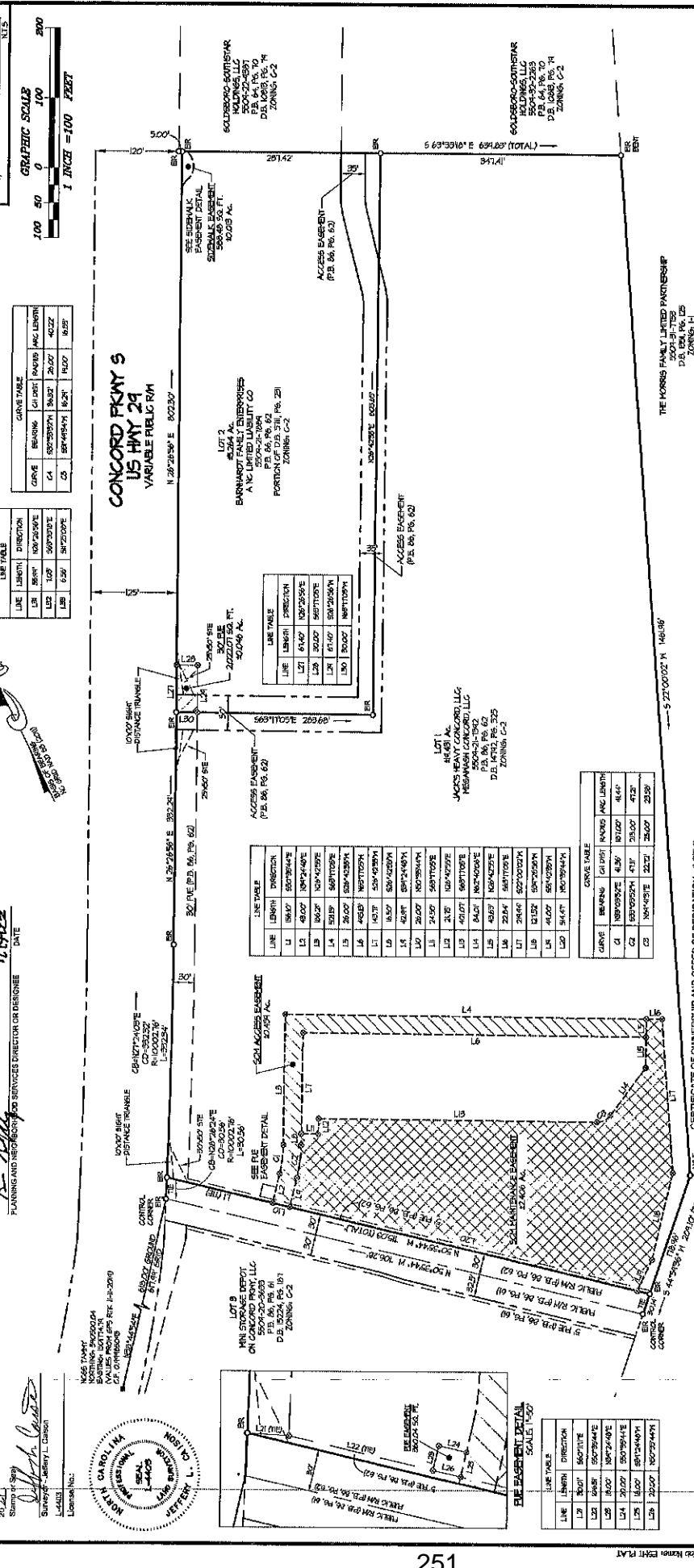
LEGEND table with symbols for existing concrete monument, iron pipe, iron rod, non-monument point, etc.



GRAVE TABLE with columns for GRAVE, BEARING, DIST, MONUMENT, and GRAVE NUMBER.

FLOOD NOTE: THE SUBJECT PROPERTY IS IN A FLOOD HAZARD AREA DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN...

STATE OF NORTH CAROLINA COUNTY OF CABARRUS. I, Jeffrey L. Clifton, Registered Land Surveyor PLS No. 14643, certify that this is a survey that...



GENERAL NOTES: NO GRD THE MATED ON FIELD OBSERVATIONS TO THE N.G. RTK NETWORK. ALL CORNERS ARE IRON RODS UNLESS OTHERWISE NOTED.

GRAVE TABLE with columns for GRAVE, BEARING, DIST, MONUMENT, and GRAVE NUMBER.

GRAVE TABLE with columns for GRAVE, BEARING, DIST, MONUMENT, and GRAVE NUMBER.

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GRAVE TABLE with columns for GRAVE, BEARING, DIST, MONUMENT, and GRAVE NUMBER.

CERTIFICATE OF OWNERSHIP AND OFFER OF DEDICATION (LOT 1). I, Jeffrey Clifton, certify that I am the owner of the property shown and described herein...

FILED Jan 19, 2022 12:51 pm CABARRUS COUNTY NC INSTRUMENT # 02094 EXCISE TAX \$0.00

EASEMENT PLAT NO. 2, TOWNSHIP - CABARRUS COUNTY CONCORD - NORTH CAROLINA

CERTIFICATE OF OWNERSHIP AND OFFER OF DEDICATION (LOT 2). I, Jeffrey Clifton, certify that I am the owner of the property shown and described herein...

CERTIFICATE OF OWNERSHIP AND OFFER OF DEDICATION (LOT 3). I, Jeffrey Clifton, certify that I am the owner of the property shown and described herein...

CERTIFICATE OF OWNERSHIP AND OFFER OF DEDICATION (LOT 4). I, Jeffrey Clifton, certify that I am the owner of the property shown and described herein...

CERTIFICATE OF OWNERSHIP AND OFFER OF DEDICATION (LOT 5). I, Jeffrey Clifton, certify that I am the owner of the property shown and described herein...

NOTARIES and other official seals for the survey, including Notary Public and County Clerk seals.



Wet Detention Basin Inspection and Maintenance Plan

Grantor agrees to keep a maintenance record on this SCM. This maintenance record will be kept in a log in a known set location. Any deficient SCM elements noted in the inspection will be corrected, repaired or replaced immediately. These deficiencies can affect the integrity of structures, safety of the public, and the removal efficiency of the SCM.

The wet detention basin system is defined as the wet detention basin, pretreatment including forebays and the vegetated filter if one is provided.

This system (check one):

does does not incorporate a vegetated filter at the outlet.

This system (check one):

does does not incorporate pretreatment other than a forebay.

Important maintenance procedures:

- Immediately after the wet detention basin is established, the plants on the vegetated shelf and perimeter of the basin should be watered twice weekly if needed, until the plants become established (commonly six weeks).
- No portion of the wet detention pond should be fertilized after the first initial fertilization that is required to establish the plants on the vegetated shelf.
- Stable groundcover should be maintained in the drainage area to reduce the sediment load to the wet detention basin.
- If the basin must be drained for an emergency or to perform maintenance, the flushing of sediment through the emergency drain should be minimized to the maximum extent practical.
- Once a year, a dam safety expert should inspect the embankment.

After the wet detention pond is established, it should be inspected **once a month and within 24 hours after every storm event greater than 1.0 inches**. Records of inspection and maintenance should be kept in a known set location and must be available upon request.

Inspection activities shall be performed as follows. Any problems that are found shall be repaired immediately.

SCM element:	Potential problem:	How I will remediate the problem:
The entire SCM	Trash/debris is present.	Remove the trash/debris.
The perimeter of the wet detention basin	Areas of bare soil and/or erosive gullies have formed.	Regrade the soil if necessary to remove the gully, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application.
	Vegetation is too short or too long.	Maintain vegetation at a height of approximately six inches.

SCM element:	Potential problem:	How I will remediate the problem:
The inlet device: pipe or swale	The pipe is clogged.	Unclog the pipe. Dispose of the sediment off-site.
	The pipe is cracked or otherwise damaged.	Replace the pipe.
	Erosion is occurring in the swale.	Regrade the swale if necessary to smooth it over and provide erosion control devices such as reinforced turf matting or riprap to avoid future problems with erosion.
The forebay	Sediment has accumulated to a depth greater than the original design depth for sediment storage.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
	Erosion has occurred.	Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.
	Weeds are present.	Remove the weeds, preferably by hand. If pesticide is used, wipe it on the plants rather than spraying.
The vegetated shelf	Best professional practices show that pruning is needed to maintain optimal plant health.	Prune according to best professional practices
	Plants are dead, diseased or dying.	Determine the source of the problem: soils, hydrology, disease, etc. Remedy the problem and replace plants. Provide a one-time fertilizer application to establish the ground cover if a soil test indicates it is necessary.
	Weeds are present.	Remove the weeds, preferably by hand. If pesticide is used, wipe it on the plants rather than spraying.
The main treatment area	Sediment has accumulated to a depth greater than the original design sediment storage depth.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
	Algal growth covers over 50% of the area.	Consult a professional to remove and control the algal growth.
	Cattails, phragmites or other invasive plants cover 50% of the basin surface.	Remove the plants by wiping them with pesticide (do not spray).

SCM element:	Potential problem:	How I will remediate the problem:
The embankment	Shrubs have started to grow on the embankment.	Remove shrubs immediately.
	Evidence of muskrat or beaver activity is present.	Use traps to remove muskrats and consult a professional to remove beavers.
	A tree has started to grow on the embankment.	Consult a dam safety specialist to remove the tree.
	An annual inspection by an appropriate professional shows that the embankment needs repair.	Make all needed repairs.
The outlet device	Clogging has occurred.	Clean out the outlet device. Dispose of the sediment off-site.
	The outlet device is damaged	Repair or replace the outlet device.
The receiving water	Erosion or other signs of damage have occurred at the outlet.	Contact the local NC Division of Water Quality Regional Office, or the 401 Oversight Unit at 919-733-1786.

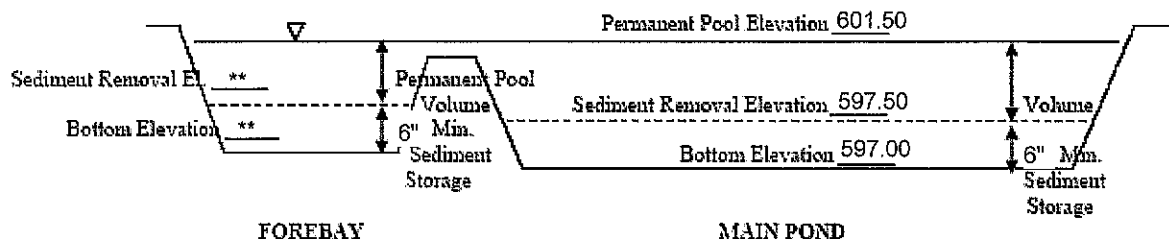
The measuring device used to determine the sediment elevation shall be such that it will give an accurate depth reading and not readily penetrate into accumulated sediments.

Elevations used are approved design or equivalent as-built elevations.(Indicate which is being indicated in this document.)

When the permanent pool depth reads 4.0 feet in the main pond, the sediment shall be removed.

When the permanent pool depth reads * feet in the forebay, the sediment shall be removed. * 3.5' (Forebay #1) and 3.0' (Forebay #2)

BASIN DIAGRAM (Approved Design Elevations)
(fill in the blanks)



** Forebay #1
Sediment Removal Elevation: 598.00
Bottom Elevation: 597.50

** Forebay #2
Sediment Removal Elevation: 598.50
Bottom Elevation: 598.00

NORTH CAROLINA
CABARRUS COUNTY

**FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES
(SCMS), ACCESS EASEMENT AND MAINTENANCE AGREEMENT**

THIS FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT (hereinafter referred to as the “First Amended and Restated Agreement”), made this 4th day of January 2022, by Park View Owners Association, Inc., a North Carolina corporation whose principal address is 833 East Boulevard, Charlotte, NC 28203 (hereinafter referred to as “Grantor”), with, to, and for the benefit of the City of Concord, a municipal corporation of the State of North Carolina, whose address is P.O. Box 308, Concord North Carolina 28026-0308, Attention City Attorney (hereinafter referred to as “Grantee” or “City”).

WITNESSETH:

WHEREAS, THE CITY COUNCIL ACCEPTED THIS FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT ON _____.

WHEREAS, Park View Estates, LLC, a North Carolina limited liability company (hereinafter referred to as “Park View Estates”), entered into a Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement dated January 22, 2018 and recorded on January 26, 2018 in Deed Book 12856 at Page 153 in the Office of the Register of Deeds for Cabarrus County (the “Stormwater SCM Agreement”); and

WHEREAS, Park View Estates transferred 5025 and 5175 Rock River Road, Concord, North Carolina, part of Cabarrus County Property Identification Number (PIN): 5528-46-9020 (the “Property”) to Grantor by North Carolina General Warranty Deeded dated August 13, 2020 filed with the Cabarrus County Register of Deeds in Deed Book 14411 at Page 91; and

WHEREAS, conditions for development and/or redevelopment of the Property include (i) the construction, operation and maintenance of a Dry Pond and a Sand Filter, as

provided in the CCDO and the Concord Manual (the “Stormwater Control SCM Structures” or “SCMs”), (ii) Grantor’s dedication of a non-exclusive of a non-exclusive easement to the City, as described in this Agreement, for inspection and maintenance of the Stormwater Control Measures; and (iii) the assumption by Grantor of certain specified maintenance and repair responsibilities; and

WHEREAS, this Agreement and the easements created herein are established in accordance with the requirements of N.C.G.S. Sec 143-211 *et seq.*, Article 4 of the CCDO and Article I of the Concord Manual; and

WHEREAS, Grantor has full authority to execute this Agreement so as to bind the Property and all current and future owners and/or assigns; and

WHEREAS, Grantor desires to amend the Stormwater SCM Agreement in order to revise access to the SCM structures as shown on the attached **Exhibit A**.

NOW, THEREFORE, for a valuable consideration, including the benefits Grantor may derive therefrom, the receipt of which is hereby acknowledged, Grantor has dedicated, bargained, and conveyed and by these presents does hereby dedicate bargain, sell, grant and convey unto Grantee, its successors and assigns, a perpetual, and irrevocable right and non-exclusive easement in, on, over, under, through and across that portion of the Property on the attached **Exhibit “A”** titled “**Park View Estates Phase 2, Map 1**” and labeled “**Basin Easement 10580.84 sf 0.243 AC**” and titled “**Basin Easement to Serve Park View Estates Phase 2, Map 1**” and labeled “**Basin Easement 1391.55 sf 0.032 AC**” across the property of **Michael S. Layne and wife, Frances D. Layne as shown in the Permanent Access Easement filed in Deed Book _____ Page _____** of the Cabarrus County Register of Deeds, for the purpose of inspection and maintenance of the Stormwater Control Measures (hereinafter referred to as “SCM Easements”). Within the SCM Easements Grantor shall conduct best management practices as more fully set forth herein and in the CCDO and Concord Manual. Also within the SCM Easements, Grantor shall construct, maintain, repair and reconstruct the Stormwater Control Measures or SCMs, which includes (i) the SCMs and any other stormwater quantity and/or quality control device(s) and/or structure(s), described on the plan approved by the City of Concord and filed at the A.M. Brown Operations Center, 850 Warren Coleman Blvd., Concord, NC 28025; and (ii) access to the aforesaid SCMs across that portion of the Property shown on the attached **Exhibit “A”** titled “**Park View Estates Phase 2, Map 1**” and labeled “**Basin Easement 10580.84 sf 0.243 AC**” and titled “**Basin Easement to Serve Park View Estates Phase 2, Map 1**” and labeled “**Basin Easement 1391.55 sf 0.032 AC**” across the property of **Michael S. Layne and wife, Frances D. Layne as shown in the Permanent Access Easement filed in Deed Book _____ Page _____** of the Cabarrus County Register of Deeds for the purpose of permitting City access, inspection and, in accordance with the terms of paragraph 4 of this Agreement, maintenance and repair of the SCMs, as more fully set forth herein and in the CCDO and Concord Manual. Except as set forth herein, nothing herein contained shall be deemed to be a gift or dedication of any portion of the Grantor’s Property to the general public or for any public use or purpose whatsoever, and further except as herein specifically provided for the benefit of the City, no

rights, privileges or immunities of Grantor shall inure to the benefit of any third-party, nor shall any third-party be deemed to be a beneficiary of any of the provisions contained herein.

The additional terms, conditions, and restrictions of this Agreement are:

1. The requirements pertaining to the SCM Easements is more fully set forth in the current adopted and published editions of the following four (4) documents: (i) Article 4 of the CCDO, (ii) Article I, Section 1 of the Concord Manual, (iii) the Dry Pond and Sand Filter Inspection and Maintenance Plans attached as **Exhibit “B”** and (iv) as provided in the N.C. Dept. of Environment and Natural Resources (DENR) Stormwater Best Management Practices (BMP) Manual (the “NCDENR Manual”), all of which are incorporated herein by reference as if set forth in their entireties below. Grantor agree to abide by all applicable codes including, but not limited to, those set forth above. All provisions required by Code Section 4.4.6.B.1 are incorporated herein by reference, and Grantor agree to abide by said provisions. Grantor further agrees that Grantor shall perform the following, all at its sole cost and expense:

- a. All components of the SCMs and related improvements within the SCM Easements are to be kept in good working order.
- b. The components of the SCM and related improvements within the SCM Easements shall be maintained by Grantor as described in “**Exhibit B**”, the Dry Pond and Sand Filter Inspection and Maintenance Plans.

2. Upon completion of the construction of the SCMs, Grantor’s N.C. registered professional engineer shall certify in writing to the Concord Director of Water Services that the SCMs and all components are constructed and initially functioning as designed. Annual inspection reports (hereinafter referred to as “Annual Report(s)”) are required each year and shall be made by Grantor on the written schedule provided to Grantor in advance by the City. The Annual Report(s) shall describe the condition and functionality of the SCMs, and shall describe any maintenance performed thereon during the preceding year. The Annual Report(s) shall be submitted with the signature and seal of Grantor’s N.C. registered professional engineer conducting the inspection. If necessary, the City will provide a letter describing the maintenance necessary to keep the SCMs and all components and structures related to the SCMs functioning as designed and with reasonable timeframes in which to complete the maintenance. If the Annual Report(s) recommends maintenance actions, the repairs shall be made within a reasonable time as defined by the City.

Grantor and Grantee understand, acknowledge and agree that the attached Inspection and Maintenance Plans describe the specific actions needed to maintain the SCMs.

3. Grantor represents and warrants that Grantor are financially responsible for construction, maintenance, repair and replacement of the SCMs, its appurtenances and vegetation, including impoundment(s), if any. Grantor agrees to perform or cause to be performed the maintenance as outlined in the attached Inspection and Maintenance Plans and as provided in the NCDENR Manual. Grantor and any subsequent transferee of Grantor or succeeding owner of the Property shall give the City written notice of the transfer of a fee or

possessory interest in the Property listing the transferee's name, address of the Property, transferee's mailing address and other contact information. Grantor and any subsequent transferee of Grantor or succeeding owner of the Property shall not be responsible for errors or omissions in the information about the transferee provided to the City caused by acts or omissions of the transferee. The transferee shall give the City written notice of the acceptance and any future transfer of an interest in the Property listing the transferee's name, address of the Property; transferee's mailing address and other contact information. Upon the conveyance of the Property by Grantor to any transferee acquiring the Property by means of a conveyance document containing the language set forth in paragraph 9 below, Grantor are released from any further covenants or other obligations set forth in this Agreement.

4. If Grantor fails to comply with these requirements, or any other obligations imposed herein, in the City of Concord Code of Ordinances, CDO, the Concord Manual or approved Inspection and Maintenance Plans, the City of Concord may perform (but is not obligated to perform) such work as Grantor is responsible for and recover the costs thereof from Grantor.

5. This Agreement gives Grantee the following affirmative rights:

Grantee, its officers, employees, and agents may, but is not obligated, to enter the SCM Easements whenever reasonably necessary for the purpose of inspecting same to determine compliance herewith, to maintain same and make repairs or replacements to the SCMs, its appurtenances and condition(s) as may be necessary or convenient thereto in the event Grantor defaults in its obligations and to recover from Grantor the cost thereof, and in addition to other rights and remedies available to it, to enforce by proceedings at law or in equity the rights, covenants, duties, and other obligations herein imposed in this Agreement. Notwithstanding the foregoing, except in emergencies, Grantee shall provide reasonable advanced written notice to Grantor of any work which may be performed. Further, any work which may be performed which involves Grantee's use of construction equipment, heavy machinery, or any other truck with more than two axles, Grantee shall take reasonable precautions to avoid any damage to the Property. Grantee shall limit its repair/maintenance work on the SCMs to circumstances where such work is necessary due to Grantor's failure to comply with the requirements of this Agreement and exhibits hereto or applicable code or as necessary to abate a public nuisance, provided that Grantee shall have no affirmative obligation to perform repair or maintenance work.

6. Grantor shall neither obstruct nor hinder the passage of vehicular traffic and pedestrians within the paved portion of the access easement granted herein by Grantor to Grantee.

7. Grantor shall, in all other respects, remain the fee owners of the Property and areas subject to the SCM Easements, and may make all lawful uses of the Property not inconsistent with this Agreement and the Easements granted herein.

8. Grantee neither waives nor forfeits the right to act to ensure compliance with the terms, conditions and purposes of the SCM Easements and this Agreement by a prior failure to act.

9. Grantor agrees:

a. That a reference to the deed book and page number of this document in a form substantially similar to the following statement in at least a 12 point bold face font on the first page of the document: **“Notice: The Property is subject to a Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement enforced by the City of Concord and State of North Carolina recorded in the Cabarrus County Registry at DB 12856, PG 153 and this FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURE (SCM), ACCESS EASEMENT AND MAINTENANCE AGREEMENT _____ PG _____.”** shall be inserted by Grantor in any subsequent deed or other legal instrument by which Grantor may be divested of either the fee simple title to or possessory interests in the subject Property. The designation Grantor and Grantee shall include the parties, their heirs, successors and assigns; and

b. That the following statement shall be inserted in any deed or other document of conveyance:

“Title to the property hereinabove described is subject to the following exceptions:

That certain **Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement enforced by the City of Concord and State of North Carolina recorded in the Cabarrus County Registry at DB 12856, PG 153 and this FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT** dated January 4, 2022 with and for the benefit of the City of Concord, recorded in Book _____, Page _____ in the Cabarrus County Registry, North Carolina, creating obligations of payment and performance on the part of Grantor which Grantee hereby assumes and agrees to perform and pay as part of the consideration of this conveyance and except further that this conveyance is made subject to any and all enforceable restrictions and easements of record (if applicable).”

In the event that such conveyance is other than by deed, the above terms of “grantor/grantee” may be substituted by equivalent terms such as “landlord/tenant.”

TO HAVE AND TO HOLD the aforesaid rights, privileges, and easements herein granted to Grantee, its successors and assigns forever and Grantor do covenant that Grantor is seized of said premises in fee and has the right to convey the same, that except as set forth below the same are free from encumbrances and that Grantor will warrant and defend the said title to the same against claims of all persons whosoever.

Title to the Property hereinabove described is subject to all enforceable deeds of trust, liens, easements, covenants and restrictions of record.

The covenants agreed hereto and the conditions imposed herein shall be binding upon Grantor and its agents, personal representatives, heirs and assigns and all other successors in interest to Grantor and shall continue as a servitude running in perpetuity with the above-described land.

THE CONCORD CITY COUNCIL APPROVED THIS AGREEMENT AND SCM EASEMENTS AND ACCEPTED THE SCM EASEMENTS AT THEIR MEETING OF _____, 2022 AS ATTESTED TO BELOW BY THE CITY CLERK. CONCORD CITY COUNCIL APPROVAL OF THIS **FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT** IS A CONDITION PRECEDENT TO ACCEPTANCE BY THE CITY.

IN WITNESS WHEREOF, the parties have caused this instrument to be duly executed day and year first above written.

GRANTOR:

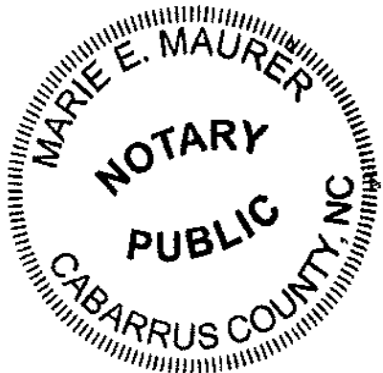
Park View Owners Association, Inc.,
a North Carolina corporation

By: Robert W. Nixon
Name: Robert W. Nixon
Title: Pres.

STATE OF North Carolina
COUNTY OF Cabarrus

I, Marie E. Maurer, a Notary Public of the aforesaid County and State, do hereby certify that Robert W. Nixon personally appeared before me this day and acknowledged that he/she is the President of Park View Owners Association, Inc., a North Carolina corporation, and that he being authorized to do so, executed the foregoing on behalf of the company.

WITNESS my hand and Notarial Seal this the 4th day of January, 2022



Marie E. Maurer
Notary Public
My commission expires: 10-2-2022

GRANTEE:

City of Concord, a municipal corporation

By: _____
Lloyd Wm. Payne, Jr., City Manager

ATTEST:

Kim J. Deason, City Clerk
[SEAL]

APPROVED AS TO FORM

VaLerie Koleczynski, City Attorney

**STATE OF NORTH CAROLINA
COUNTY OF CABARRUS**

I, _____, a Notary Public of the aforesaid County and State, do hereby certify that Kim J. Deason personally appeared before me this day and acknowledged that she is the City Clerk of the City of Concord and that by authority duly given and as the act of the municipal corporation, the foregoing **FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT** was approved by the Concord City Council at its meeting held on _____ and was signed in its name by its City Manager, sealed with its corporate seal and attested by her as its City Clerk.

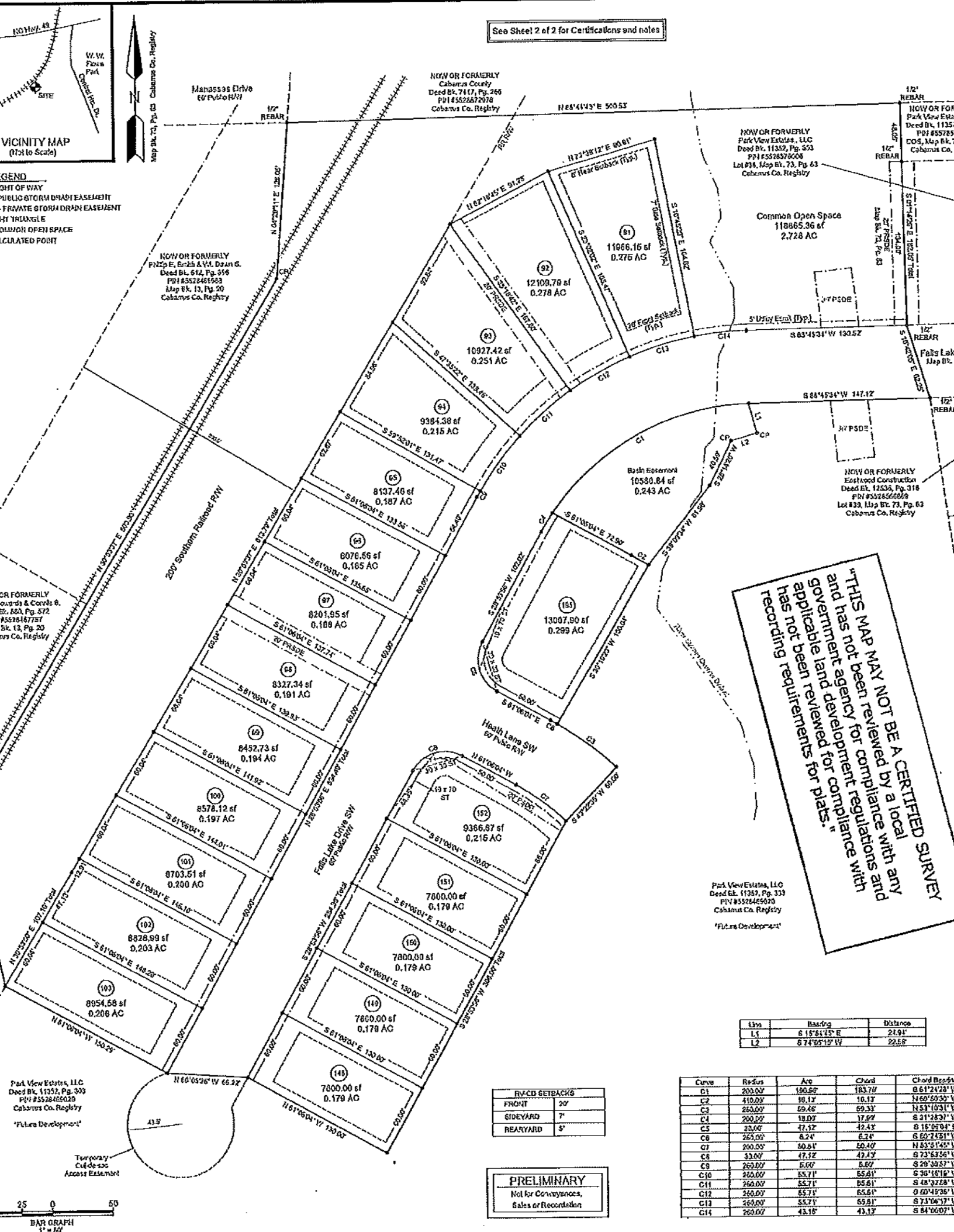
WITNESS my hand and notarial seal, this the _____ day of _____, 202~~1~~

Notary Public _____
My commission expires: _____

Exhibit A

(1062)

See Sheet 2 of 2 for Certifications and notes



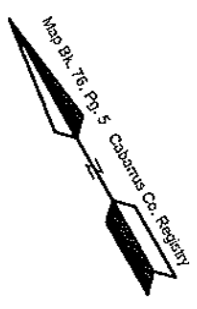
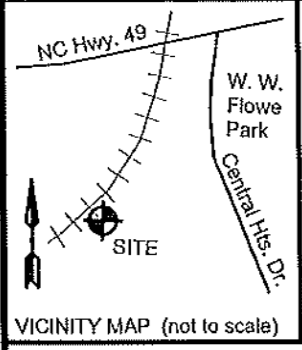
"THIS MAP MAY NOT BE A CERTIFIED SURVEY and has not been reviewed by a local government agency for compliance with applicable land development regulations with recording requirements for plats."

DATE	REVISION	BY	CHECKED BY	DRAWN BY	N.S. NO.	SCALE	DATE	Prepared for:	Park View Estates, LLC 18 Franklin Avenue NW Concord, NC 28025	NORSTAR LAND SURVEYING, INC. 652-B Newell Street NW Concord, NC 28025 Ph 704 721 6651 Fax 704 721 6653 Firm Ltr. # C-2294	
			S. Dyer	S. Kamey	16155	1" = 50'	October 12, 2017	City of Concord Township #11 Cabarrus County, NC FINAL PLAT			

Exhibit A (2 of 2)

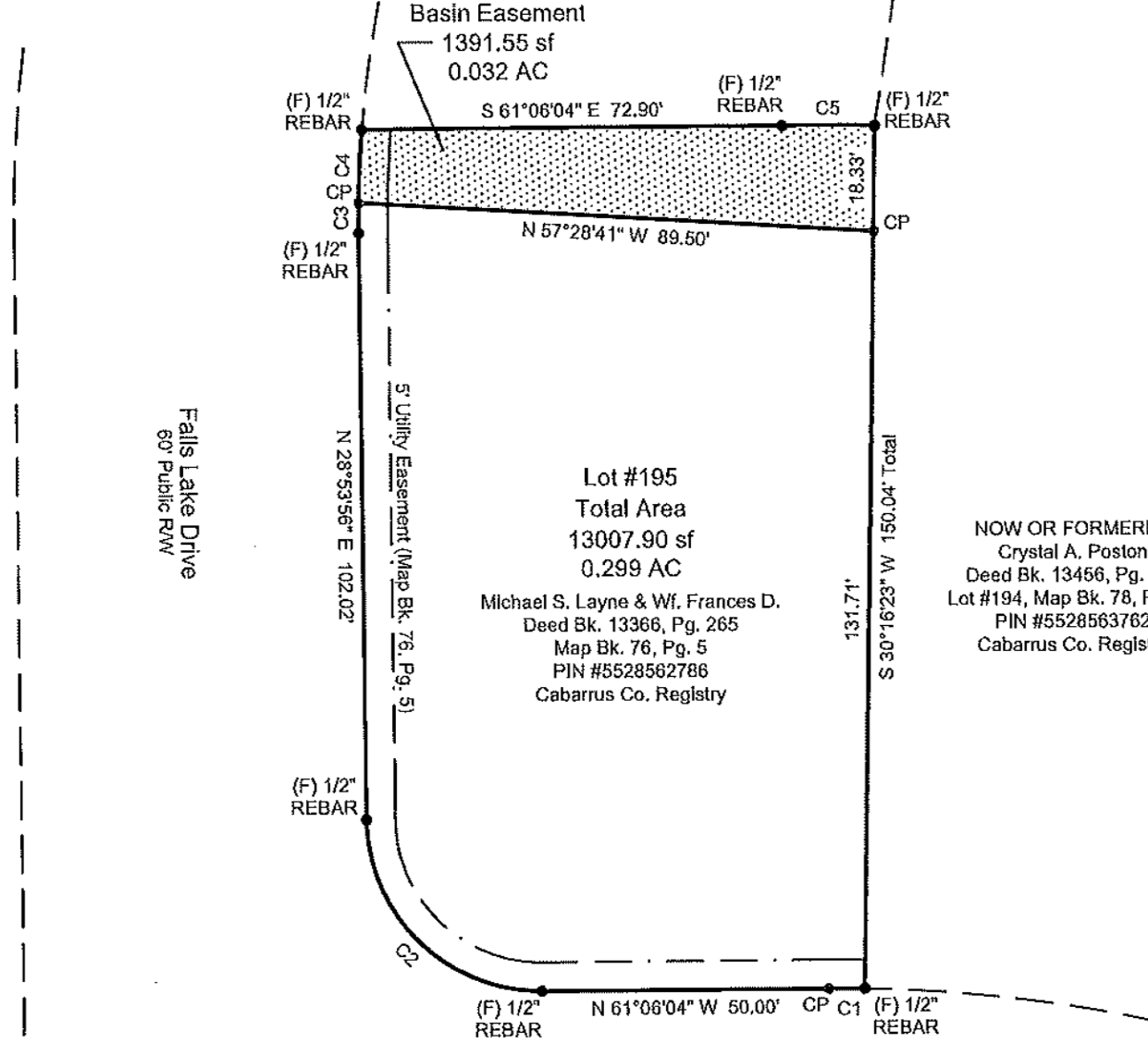
BASIN EASEMENT

Curve	Radius	Arc	Chord	Chord Bearing
C1	260.00'	6.24'	6.24'	N 60°24'51" W
C2	30.00'	47.12'	42.43'	N 16°06'04" W
C3	200.00'	5.23'	5.23'	N 29°38'53" E
C4	200.00'	12.77'	12.77'	N 32°13'35" E
C5	410.09'	16.13'	16.13'	S 60°50'30" E

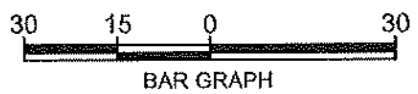


- LEGEND**
- R/W - RIGHT OF WAY
 - (F) - FOUND
 - CP - CALCULATED POINT
 - a/s - AS SHOWN
 - BASIN EASEMENT

NOW OR FORMERLY
Park View Owners Assoc., Inc.
Deed Bk. 14411, Pg. 91
Basin Easement, Map Bk. 76, Pg. 5
PIN #5528563867
Cabarrus Co. Registry



PRELIMINARY
Not for Conveyances,
Sales or Recordation



- NOTES:**
- * Deed Reference - Deed Bk. 13366, Pg. 265 Michael S. Layne & Wf. Frances D. Dated February 8, 2019 Recorded In Cabarrus Co. Registry
 - * Map Reference - Park View Estates Phase 2, map 1 Dated October 12, 2017 Map Bk. 76, Pg. 5 Recorded In Cabarrus Co. Registry Performed by R. Scott Dyer, PLS
 - * Property subject to recorded and unrecorded right of ways, easements and agreements as may appear.

I, R. Scott Dyer, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 13366, page 265, etc.); that the boundaries not surveyed are clearly indicated as drawn from information found in Book a/s, page a/s; that the ratio of precision as calculated exceeds 1:10,000; and that this map meets the requirements for The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56. 1600). Witness my original signature, registration number and seal this 30th day of November, A.D., 2021.



NORSTAR LAND SURVEYING, INC.
552-B Newell Street NW
Concord, NC 28025
Ph 704 721 6651
Fax 704 721 6653
Firm Lic. # C-2294

R. Scott Dyer, PLS #4444

DRAWN BY: S. Kimrey NLS NO.: 16159
DATE: November 30, 2021 SCALE: 1" = 30'

Basin Easement
To Serve
Park View Estates Phase 2, Map 1
City of Concord Cabarrus County, NC



**Parkview Phase 2 BMP 1
Dry Extended Detention Basin
Inspection and Maintenance Plan**

Grantor agrees to keep a maintenance record on this SCM. This maintenance record will be kept in a log in a known set location. Any deficient SCM elements noted in the inspection will be corrected, repaired or replaced immediately. These deficiencies can affect the integrity of structures, safety of the public, and the removal efficiency of the SCM.

The dry extended detention basin system is defined as the dry detention basin, outlet structure, pretreatment including forebays and the vegetated filter if one is provided.

This system (check one):

does does not

incorporate a vegetated filter at the outlet.

This system (check one):

does does not

incorporate pretreatment other than a forebay.

Important maintenance procedures:

- The drainage area will be managed to reduce the sediment load to the dry extended detention basin.
- Immediately after the dry extended detention basin is established, the vegetation will be watered twice weekly if needed until the plants become established (commonly six weeks).
- No portion of the dry extended detention pond will be fertilized after the first initial fertilization that is required to establish the vegetation.
- I will maintain the vegetation in and around the basin at a height of approximately six inches.
- Once a year, a dam safety expert will inspect the embankment.

After the dry extended detention basin is established, it will be inspected **once a quarter and within 24 hours after every storm event greater than 1.0 inches**. Records of inspection and maintenance will be kept in a known set location and will be available upon request.

Inspection activities shall be performed as follows. Any problems that are found shall be repaired immediately.

SCM element:	Potential problem:	How I will remediate the problem:
The entire SCM	Trash/debris is present.	Remove the trash/debris.
The perimeter of the dry extended detention basin	Areas of bare soil and/or erosive gullies have formed.	Regrade the soil if necessary to remove the gully, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application.

SCM element:	Potential problem:	How I will remediate the problem:
The inlet device: pipe or swale	The pipe is clogged (if applicable).	Unclog the pipe. Dispose of the sediment off-site.
	The pipe is cracked or otherwise damaged (if applicable).	Replace the pipe.
	Erosion is occurring in the swale (if applicable).	Regrade the swale if necessary to smooth it over and provide erosion control devices such as reinforced turf matting or riprap to avoid future problems with erosion.
The forebay	Sediment has accumulated and reduced the depth to 75% of the original design depth (see diagram below).	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
	Erosion has occurred or riprap is displaced.	Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.
	Weeds are present.	Remove the weeds, preferably by hand. If pesticides are used, wipe them on the plants rather than spraying.
The main treatment area	Sediment has accumulated and reduced the depth to 75% of the original design depth (see diagram below).	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM. Revegetate disturbed areas immediately with sod (preferred) or seed protected with securely staked erosion mat.
	Water is standing more than 5 days after a storm event.	Check outlet structure for clogging. If it is a design issue, consult an appropriate professional.
	Weeds and noxious plants are growing in the main treatment area.	Remove the plants by hand or by wiping them with pesticide (do not spray).

SCM element:	Potential problem:	How I will remediate the problem:
The embankment	Shrubs or trees have started to grow on the embankment.	Remove shrubs or trees immediately.
	Grass cover is unhealthy or eroding.	Restore the health of the grass cover – consult a professional if necessary.
	Signs of seepage on the downstream face.	Consult a professional.
	Evidence of muskrat or beaver activity is present.	Use traps to remove muskrats and consult a professional to remove beavers.
	An annual inspection by an appropriate professional shows that the embankment needs repair.	Make all needed repairs.
The outlet device	Clogging has occurred.	Clean out the outlet device. Dispose of the sediment off-site.
	The outlet device is damaged	Repair or replace the outlet device.
The receiving water	Erosion or other signs of damage have occurred at the outlet.	Contact Stormwater Services at 704-920-5360.

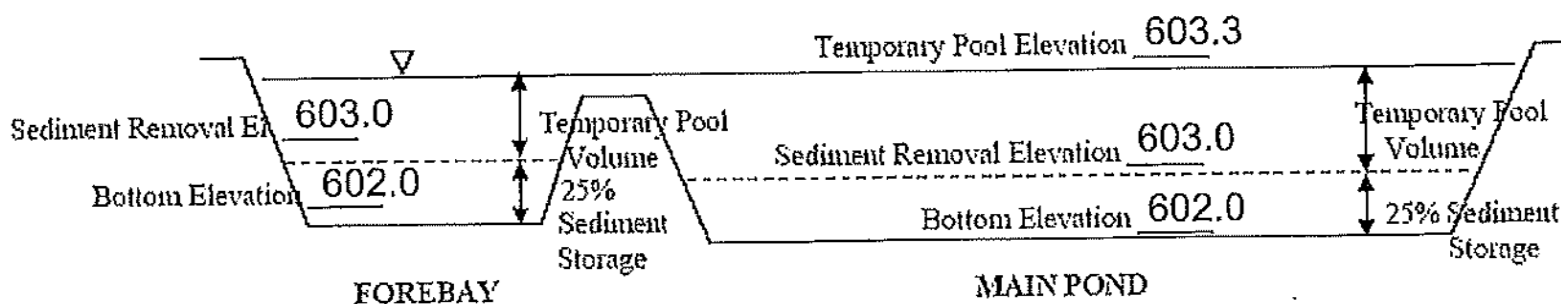
The measuring device used to determine the sediment elevation shall be such that it will give an accurate depth reading and not readily penetrate into accumulated sediments.

When the basin depth reads 603.0__ feet in the main pond, the sediment shall be removed.

When the basin depth reads 603.0__ feet in the forebay, the sediment shall be removed.

BASIN DIAGRAM

(fill in the blanks)





Parkview Phase 2 BMP 1

Sand Filter Inspection and Maintenance Plan

Grantor agrees to keep a maintenance record on this SCM. This maintenance record will be kept in a log in a known set location. Any deficient SCM elements noted in the inspection will be corrected, repaired or replaced immediately. These deficiencies can affect the integrity of structures, safety of the public, and the removal efficiency of the SCM.

Important maintenance procedures:

- The drainage area will be carefully managed to reduce the sediment load to the sand filter.
- Once a year, sand media will be skimmed.
- The sand filter media will be replaced whenever it fails to function properly after vacuuming.

The sand filter will be inspected **quarterly** and **within 24 hours** after every storm event **greater than 1.0 inches**. Records of inspection and maintenance will be kept in a known set location and will be available upon request.

Inspection activities shall be performed as follows. Any problems that are found shall be repaired immediately.

SCM element:	Potential problem:	How I will remediate the problem:
The entire SCM	Trash/debris is present.	Remove the trash/debris.
The adjacent pavement (if applicable)	Sediment is present on the pavement surface.	Sweep or vacuum the sediment as soon as possible.
The perimeter of the sand filter	Areas of bare soil and/or erosive gullies have formed.	Regrade the soil if necessary to remove the gully, and then plant a ground cover and water until it is established. Provide lime and a one-time fertilizer application.
	Vegetation is too short or too long.	Maintain vegetation at a height of approximately six inches.
The flow diversion structure	The structure is clogged.	Unclog the conveyance and dispose of any sediment off-site.
	The structure is damaged.	Make any necessary repairs or replace if damage is too large for repair.

The pretreatment area	Sediment has accumulated to a depth of greater than six inches.	Search for the source of the sediment and remedy the problem if possible. Remove the sediment and dispose of it in a location where it will not cause impacts to streams or the SCM.
	Erosion has occurred.	Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.
	Weeds are present.	Remove the weeds, preferably by hand. If a pesticide is used, wipe it on the plants rather than spraying.

SCM element:	Potential problem:	How I will remediate the problem:
The filter bed and underdrain collection system	Water is ponding on the surface for more than 24 hours after a storm.	Check to see if the collector system is clogged and flush if necessary. If water still ponds, remove the top few inches of filter bed media and replace. If water still ponds, then consult an expert.
The outflow spillway and pipe	Shrubs or trees have started to grow on the embankment.	Remove shrubs and trees immediately.
	The outflow pipe is clogged.	Provide additional erosion protection such as reinforced turf matting or riprap if needed to prevent future erosion problems.
	The outflow pipe is damaged.	Repair or replace the pipe.
The receiving water	Erosion or other signs of damage have occurred at the outlet.	Contact Stormwater Services at 704-920-5360.

NORTH CAROLINA
CABARRUS COUNTY

**FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES
(SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT**

This instrument should be indexed as a “subsequent instrument,” pursuant to N.C.G.S. § 161-14.1, and is intended to modify the following previously registered instrument: Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement recorded in Book 14671, Page 116, Cabarrus County Register of Deeds.

THIS FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT (“Amended Agreement”), made this _____ day of _____, 2022, by HSREI, LLC, a North Carolina limited liability company, whose principal address is 6000 Monroe Road, Charlotte, NC 28212 (hereinafter “Grantor”), with, to, and for the benefit of the City of Concord, a municipal corporation of the State of North Carolina, whose address is P.O. Box 308, Concord North Carolina 28026-0308, (hereinafter “Grantee” or “City”).

WITNESSETH:

WHEREAS, THE CITY COUNCIL ACCEPTED THIS FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT ON _____.

WHEREAS, Grantor is the owner in fee simple of certain real property situated in the City of Concord, County of Cabarrus, North Carolina and more particularly described as follows: 7609 Hendrick Auto Plaza NW, Concord, NC, and Lot 5 as shown on Map Book and Page 84/82, Cabarrus County Property Identification Number (PIN): 4599-10-9019. It being the land conveyed to Grantor by deed recorded in Book and Page 5297/204 and Book and Page 5297/209 in the Office of the Register of Deeds for Cabarrus County (hereinafter referred to as the “Property”); and

WHEREAS, Grantor entered into a Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement dated October 23, 2020 and recorded on November 16, 2020 in Deed Book 14671 at Page 116 in the Office of the Register of Deeds for Cabarrus County (the “Stormwater SCM Agreement”); and

WHEREAS, Grantor desires to develop or redevelop all or portions of the Property; and

WHEREAS, the Property is located within the planning jurisdiction of the City of Concord, and is subject to certain requirements set forth in the City of Concord Code of Ordinances Chapter 60, the Concord Development Ordinance, (hereafter “CCDO”), and the Concord Technical Standards Manual (hereafter “Concord Manual”); and

WHEREAS, conditions for development and/or redevelopment of the Property includes (i) the construction, operation and maintenance of two (2) engineered stormwater control structures, namely an Underground Stand Filter and a Sand Filter, as provided in the CCDO and the Concord Manual (the “Stormwater Control Measures” or “SCMs”), (ii) Grantor’s dedication of a non-exclusive access easement to the City, as described in this Amended Agreement, for inspection and maintenance of the Stormwater Control Measures; and (iii) the assumption by Grantor of certain specified maintenance and repair responsibilities; and

WHEREAS, this Amended Agreement and the easements created herein are established in accordance with the requirements of N.C.G.S. Sec 143-211 *et. seq.*, Article 4 of the CCDO and Article I of the Concord Manual; and

WHEREAS, Grantor has full authority to execute this Amended Agreement so as to bind the Property and all current and future owners and/or assigns.

NOW, THEREFORE, for valuable consideration, including the benefits Grantor may derive there from, the receipt and sufficiency of which is hereby acknowledged, Grantor hereby dedicates, bargains, grants and conveys unto Grantee, and its successors and assigns, a perpetual, and irrevocable right and non-exclusive easement in gross (of the nature and character and to the extent hereinafter set forth) in, on, over, under, through and across those portions of the Property shown on the attached **Exhibit “A” titled “ACCESS AND SCM EASEMENTS” and labeled “Proposed SCM Easement” “UNDG “1” 0.538 AC” and “Sand Filter 1 1.160 AC” “(Sheet No: 2 of 2)”**, for the purpose of inspection and maintenance of the Stormwater Control Measures (hereinafter referred to as “SCM Easements”). Within the SCM Easements Grantor shall conduct best management practices as more fully set forth herein and in the CCDO and Concord Manual. Also within the SCM Easements, Grantor shall construct, maintain, repair and reconstruct the Stormwater Control Measures or SCMs, which include (i) the SCMs and any other stormwater quantity and/or quality control devices and/or structures, described on the plans approved by the City of Concord and filed at the A.M. Brown Operations Center, 850 Warren Coleman Blvd., Concord, NC 28025; and (ii) access to the aforesaid SCMs across that portion of the Property via Papa Joe Hendrick Boulevard and as show on **Exhibit “A” titled “ACCESS AND SCM EASEMENTS” and labeled “Proposed Access Easement” “0.384 AC.” (Sheet No: 1 of 2 and Sheet No: 2 of 2”**, a public right of way, for the purpose of permitting City access, inspection and, in accordance with the terms of paragraph 4 of this Amended Agreement, maintenance and repair of the SCMs, as more fully set forth herein and in the CCDO and Concord Manual. Except as set forth herein, nothing contained in this Amended Agreement shall be deemed to be a gift or dedication of any portion of Grantor’s Property to the general public or for any public use or purpose whatsoever, and further except as specifically provided herein for the benefit of the City, no rights, privileges or immunities of Grantor shall inure to the benefit of any third-party, nor shall any third-party be deemed to be a beneficiary of any of the provisions contained herein.

The additional terms, conditions, and restrictions of this Amended Agreement are:

1. The requirements pertaining to the SCM Easements are more fully set forth in the current adopted and published editions of the following four (4) documents: (i) Article 4 of the CCDO, (ii) Article I, Section 1 of the Concord Manual, (iii) the Underground Sand Filter and Sand Filter Inspection and Maintenance Plans attached as **Exhibit "B"** and (iv) as provided in the N.C. Dept. of Environment and Natural Resources (DENR) Stormwater Best Management Practices (BMP) Manual (the "NCDENR Manual"), all of which are incorporated herein by reference as if set forth in their entireties below. Grantor agree to abide by all applicable codes including, but not limited to, those set forth above. All provisions required by Code Section 4.4.6.B.1 are incorporated herein by reference, and Grantor agree to abide by said provisions. Grantor further agrees that Grantor shall perform the following, all at its sole cost and expense:

- a. All components of the SCMs and related improvements within the SCM Easements are to be kept in good working order.
- b. The components of the SCMs and related improvements within the SCM Easements shall be maintained by Grantor as described in **Exhibit "B"**, the Underground Sand Filter and Sand Filter Inspection and Maintenance Plans.

2. Upon completion of the construction of the SCMs, Grantor's N.C. registered professional engineer shall certify in writing to the Concord Director of Water Services that the SCMs and all components are constructed and initially functioning as designed. Annual inspection reports (hereinafter referred to as "Annual Report(s)") are required each year and shall be made by Grantor on the written schedule provided to Grantor in advance by the City. The Annual Report(s) shall describe the condition and functionality of the SCMs, and shall describe any maintenance performed thereon during the preceding year. The Annual Report(s) shall be submitted with the signature and seal of Grantor's N.C. registered professional engineer conducting the inspection. If necessary, the City will provide a letter describing the maintenance necessary to keep the SCMs and all components and structures related to the SCMs functioning as designed and with reasonable timeframes in which to complete the maintenance. If the Annual Report(s) recommends maintenance actions, the repairs shall be made within a reasonable time as defined by the City.

Grantor and Grantee understand, acknowledge and agree that the attached Inspection and Maintenance Plans describe the specific actions needed to maintain the SCMs.

3. Grantor represents and warrants that Grantor are financially responsible for construction, maintenance, repair and replacement of the SCMs, its appurtenances and vegetation, including impoundment(s), if any. Grantor agrees to perform or cause to be performed the maintenance as outlined in the attached Inspection and Maintenance Plan and as provided in the NCDENR Manual. Grantor and any subsequent transferee of Grantor or succeeding owner of the Property shall give the City written notice of the transfer of a fee or possessory interest in the Property listing the transferee's name, address of the Property, transferee's mailing address and other contact information. Grantor and any subsequent transferee of Grantor or succeeding owner of the Property shall not be responsible for errors or omissions in the information about the transferee provided to the City caused by acts or omissions of the transferee. The transferee shall give the City written notice of the acceptance and any future transfer of an interest in the Property listing the transferee's name, address of the Property; transferee's mailing address and other contact information. Upon the conveyance of the Property by Grantor to any transferee acquiring

the Property by means of a conveyance document containing the language set forth in paragraph 9 below, Grantor are released from any further covenants or other obligations set forth in this Amended Agreement.

4. If Grantor fails to comply with these requirements, or any other obligations imposed herein, in the City of Concord Code of Ordinances, CDO, the Concord Manual or approved Inspection and Maintenance Plan, the City of Concord may perform (but is not obligated to perform) such work as Grantor is responsible for and recover the costs thereof from Grantor.

5. This Amended Agreement gives Grantee the following affirmative rights:

Grantee, its officers, employees, and agents may, but is not obligated, to enter the SCM Easements whenever reasonably necessary for the purpose of inspecting same to determine compliance herewith, to maintain same and make repairs or replacements to the SCMs, its appurtenances and condition(s) as may be necessary or convenient thereto in the event Grantor defaults in its obligations and to recover from Grantor the cost thereof, and in addition to other rights and remedies available to it, to enforce by proceedings at law or in equity the rights, covenants, duties, and other obligations herein imposed in this Amended Agreement.

6. Grantor shall neither obstruct nor hinder the passage of vehicular traffic and pedestrians within the paved portion of the access easement granted herein by Grantor to Grantee.

7. Grantor shall, in all other respects, remain the fee owners of the Property and areas subject to the SCM Easements, and may make all lawful uses of the Property not inconsistent with this Amended Agreement and the Easements granted herein.

8. Grantee neither waives nor forfeits the right to act to ensure compliance with the terms, conditions and purposes of the SCM Easements and this Amended Agreement by a prior failure to act.

9. Grantor agrees:

a. That a reference to the deed book and page number of this document in a form substantially similar to the following statement in at least a 12 point bold face font on the first page of the document: **“Notice: The Property is subject to a First Amended and Restated Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement enforced by the City of Concord and State of North Carolina recorded in the Cabarrus County Registry at DB _____ PG ____.”** shall be inserted by Grantor in any subsequent deed or other legal instrument by which Grantor may be divested of either the fee simple title to or possessory interests in the subject Property. The designation Grantor and Grantee shall include the parties, their heirs, successors and assigns; and

b. That the following statement shall be inserted in any deed or other document of conveyance:

“Title to the property hereinabove described is subject to the following exceptions:

That certain First Amended and Restated Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement dated _____, 2022 with and for

the benefit of the City of Concord, recorded in Book _____, Page _____ in the Cabarrus County Registry, North Carolina, creating obligations of payment and performance on the part of Grantor which Grantee hereby assumes and agrees to perform and pay as part of the consideration of this conveyance and except further that this conveyance is made subject to any and all enforceable restrictions and easements of record (if applicable).”

In the event that such conveyance is other than by deed, the above terms of “grantor/grantee” may be substituted by equivalent terms such as “landlord/tenant.”

TO HAVE AND TO HOLD the aforesaid rights, privileges, and easements herein granted to Grantee, its successors and assigns forever and Grantor do covenant that Grantor is seized of said premises in fee and has the right to convey the same, that except as set forth below the same are free from encumbrances and that Grantor will warrant and defend the said title to the same against claims of all persons whosoever.

Title to the Property hereinabove described is subject to all enforceable deeds of trust, liens, easements, covenants and restrictions of record.

The covenants agreed hereto and the conditions imposed herein shall be binding upon Grantor and its agents, personal representatives, heirs and assigns and all other successors in interest to Grantor and shall continue as a servitude running in perpetuity with the above-described land.

THIS AMENDED AGREEMENT HEREBY REPLACES AND SUPERSEDES THE STORMWATER SCM AGREEMENT. AFTER THIS AMENDED AGREEMENT IS RECORDED WITH THE CABARRUS COUNTY REGISTER OF DEEDS, THE STORMWATER SCM AGREEMENT SHALL BE SUPERSEDED AND REPLACED BY THIS AMENDED AGREEMENT AND SHALL BE OF NO FURTHER FORCE OR EFFECT.

THE CONCORD CITY COUNCIL APPROVED THIS AMENDED AGREEMENT AND SCM EASEMENTS AND ACCEPTED THE SCM EASEMENTS AT THEIR MEETING OF _____, 2022 AS ATTESTED TO BELOW BY THE CITY CLERK. CONCORD CITY COUNCIL APPROVAL OF THIS AMENDED AGREEMENT AND EASEMENT IS A CONDITION PRECEDENT TO ACCEPTANCE BY THE CITY.

[SIGNATURE PAGES FOLLOW]

IN WITNESS WHEREOF, the parties have caused this instrument to be duly executed day and year first above written.

GRANTOR:

HSREI, LLC, a North Carolina limited liability company

By: *A. Scott Ennis*

Name: A. Scott Ennis

Title: Vice President

GRANTEE:

City of Concord, a municipal corporation

By: _____

Lloyd Wm. Payne, Jr., City Manager

ATTEST:

Kim J. Deason, City Clerk
[SEAL]

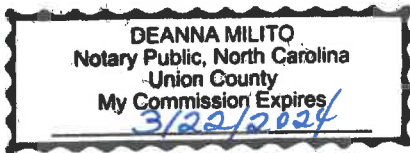
APPROVED AS TO FORM

VaLerie Kolczynski, City Attorney

STATE OF North Carolina
COUNTY OF Mecklenburg

I, Deanna Milito, a Notary Public of the aforesaid County and State, do hereby certify that A. Scott Ennis personally appeared before me this day and acknowledged that he she is the Vice President of HSREI, LLC, a North Carolina limited liability company, and that he she as Vice President being authorized to do so, executed the foregoing on behalf of the company.

WITNESS my hand and Notarial Seal this the 18th day of January, 2022



Deanna Milito
Notary Public
My commission expires: 3/22/2024

STATE OF NORTH CAROLINA
COUNTY OF CABARRUS

I, _____, a Notary Public of the aforesaid County and State, do hereby certify that Kim J. Deason personally appeared before me this day and acknowledged that she is the City Clerk of the City of Concord and that by authority duly given and as the act of the municipal corporation, the foregoing FIRST AMENDED AND RESTATED STORMWATER CONTROL MEASURES (SCMs), ACCESS EASEMENT AND MAINTENANCE AGREEMENT was approved by the Concord City Council at its meeting held on _____ and was signed in its name by its City Manager, sealed with its corporate seal and attested by her as its City Clerk.

WITNESS my hand and notarial seal, this the ____ day of _____, 2022.

Notary Public _____
My commission expires: _____



Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers • Surveyors • Planners • Scientists
 5500 New Albany Road, Columbus, OH 43254
 Phone: 614.775.4500 Toll Free: 888.775.3648
 emht.com

ACCESS AND SCM EASEMENTS

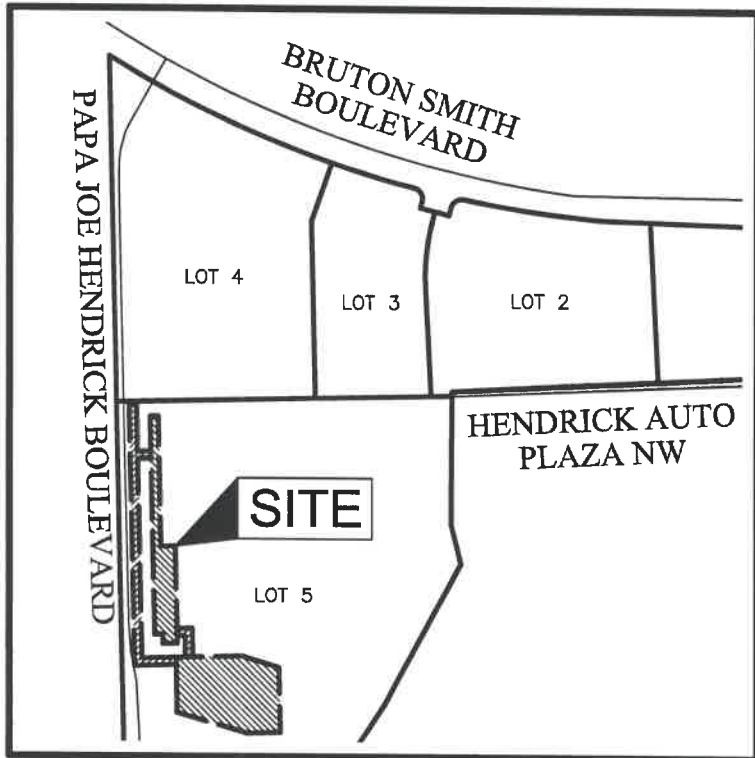
CITY OF CONCORD, COUNTY OF CABARRUS
 STATE OF NORTH CAROLINA
 PREPARED FOR: HSREI, LLC

Date: December 14, 2021

Scale: 1" = 100'

Job No: 2019-0819

Sheet No: 1 of 2



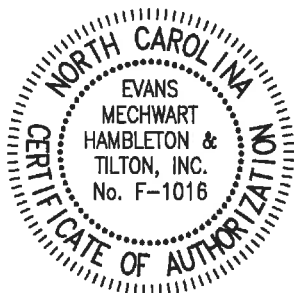
LOCATION MAP
 NOT TO SCALE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N88°43'12"E	34.00'
L2	S01°16'48"E	10.00'
L3	N88°43'12"E	20.00'
L4	S01°16'48"E	124.26'
L5	N88°43'12"E	36.00'
L6	S01°16'48"E	20.00'
L7	S88°43'12"W	36.00'
L8	N88°28'08"E	92.59'
L9	S01°01'52"E	20.00'
L10	N88°43'12"E	112.00'
L11	S01°16'48"E	39.76'
L12	N88°43'12"E	39.00'
L13	S88°43'39"W	39.00'
L14	N01°16'48"W	26.03'
L15	S88°43'12"W	22.00'
L16	N88°43'12"E	22.00'
L17	N88°43'12"E	40.98'
L18	S01°16'48"E	78.68'
L19	S88°28'08"W	20.00'
L20	N01°16'48"W	58.77'
L21	S88°43'12"W	20.98'
L22	N01°16'48"W	20.00'

NOTES:

1. Map and deed references as shown hereon.
2. The purpose of this map is for easement acquisition only.
3. Physical improvements and utilities may exist that are not shown hereon.
4. This map was prepared without the benefit of a title commitment report. EMH&T does not claim that all matters of record which may or may not affect the subject property are shown hereon.
5. Areas calculated by coordinate computation.
6. All distances are horizontal ground distances in U.S. Survey Feet and decimals thereof, unless noted otherwise.

This map may not be a certified survey and has not been reviewed by a local government agency for compliance with any applicable land development regulations and has not been reviewed for compliance with recording requirements for plats.



By Brandon R. King
 Brandon R. King
 Professional Land Surveyor No. L-5365
 bking@emht.com

Date 12-14-2021

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Evans, Mechwart, Hambleton & Tilton, Inc.
 Engineers - Surveyors - Planners - Scientists
 5600 New Albany Road, Columbus, OH 43054
 Phone: 614.775.4500 Fax: 614.775.3648
 emht.com

ACCESS AND SCM EASEMENTS

CITY OF CONCORD, COUNTY OF CABARRUS

STATE OF NORTH CAROLINA

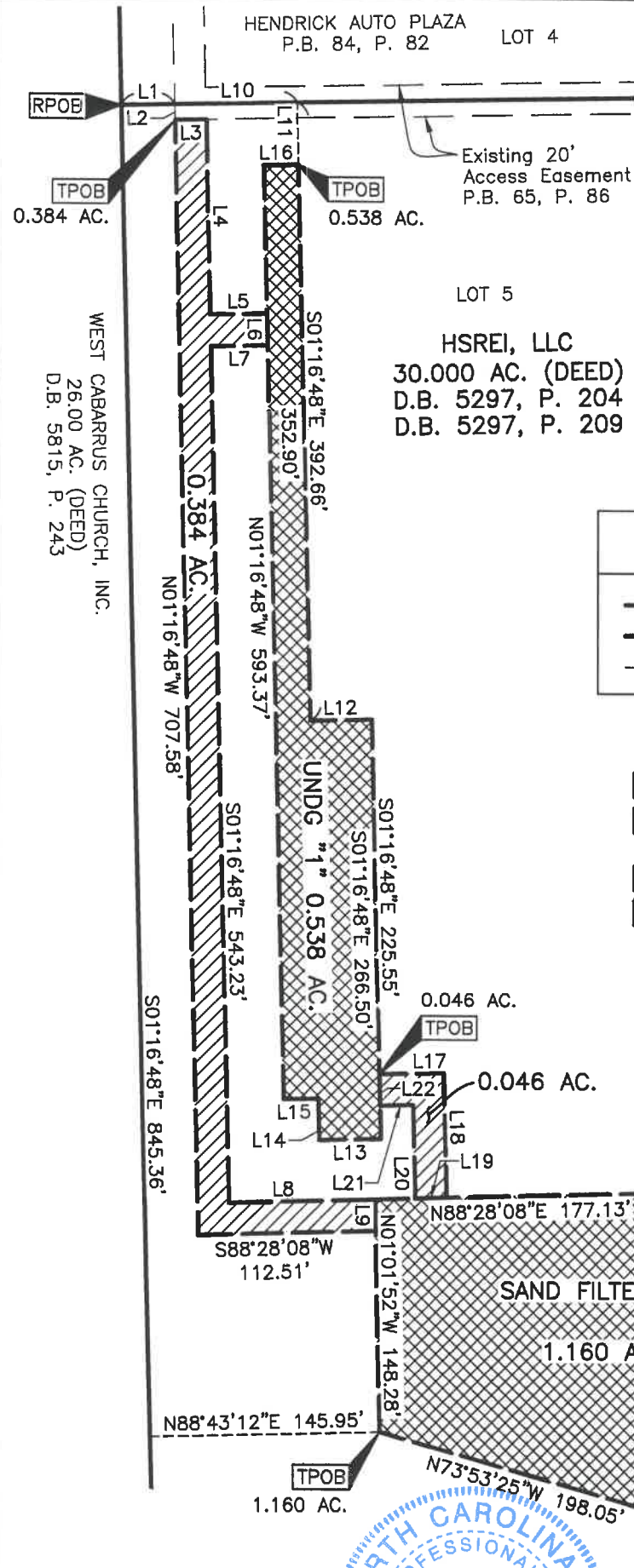
PREPARED FOR: HSREI, LLC

Date: December 14, 2021

Scale: 1" = 100'

Job No: 2019-0819

Sheet No: 2 of 2

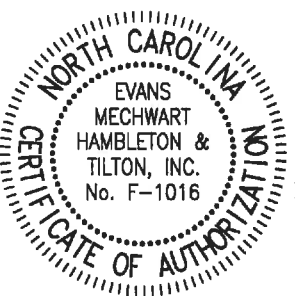


NOMENCLATURE	
D.B.	- Deed Book
P.B.	- Plat Book
P.	- Page
AC.	- Acre(s)
RPOB	- Reference Point of Beginning
TPOB	- True Point of Beginning
SCM	- Stormwater Control Measure

LINE LEGEND	
	Boundary Line
	Proposed Easement Line
	Existing Easement Line

	Proposed Access Easement
	Proposed SCM Easement

P.B. 45, P. 56



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J:\20190819\DWG\04SHEETS\EASEMENTS\20190819-VS-ESMT-SCM-02.DWG plotted by KING, BRANDON on 11/30/2021 8:23:52 AM

**ACCESS EASEMENT
0.046 ACRE**

Situated in the State of North Carolina, County of Cabarrus, City of Concord, and being on, over, and across Lot 5 of "Hendrick Auto Plaza", a subdivision of record in Plat Book 84, Page 82 (all references are to the records of the Register of Deed's Office, Cabarrus County, North Carolina) and being more particularly described as follows:

Beginning, for reference, at the westerly common corner of said Lot 5 and 4 of said "Hendrick Auto Plaza", and in the easterly line of that 26.00 acre tract conveyed to West Cabarrus Church, Inc. by deed of record in Deed Book 5815, Page 243;

Thence North 88° 43' 12" East, with the line common to said Lots 5 and 4, a distance of 112.00 feet to a point;

Thence South 01° 16' 48" East, across said Lot 5, a distance of 392.66 feet to a point;

Thence North 88° 43' 12" East, a distance of 39.00 feet to a point;

Thence South 01° 16' 48" East, a distance of 225.55 feet to the TRUE POINT OF BEGINNING;

Thence continuing across said Lot 5, the following courses and distances:

North 88° 43' 12" East, a distance of 40.98 feet to a point;

South 01° 16' 48" East, a distance of 78.68 feet to a point;

South 88° 28' 08" West, a distance of 20.00 feet to a point;

North 01° 16' 48" West, a distance of 58.77 feet to a point;

South 88° 43' 12" West, a distance of 20.98 feet to a point; and

North 01° 16' 48" West, a distance of 20.00 feet to the TRUE POINT OF BEGINNING, containing 0.046 acre, more or less.



EVANS, MECHWART, HAMBLETON & TILTON, INC.
5500 New Albany Road, Columbus, OH 43054 F-1016


Brandon R. King
Professional Land Surveyor No. L-5365

12-14-2021
Date

BRK:tnw
0_046 ac 20190819-VS-ESMT-SCM--02.doc

**SCM EASEMENT
0.538 ACRE**

Situated in the State of North Carolina, County of Cabarrus, City of Concord, and being on, over, and across Lot 5 of "Hendrick Auto Plaza", a subdivision of record in Plat Book 84, Page 82 (all references are to the records of the Register of Deed's Office, Cabarrus County, North Carolina) and being more particularly described as follows:

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Thence North 88° 43' 12" East, with the line common to said Lots 5 and 4, a distance of 112.00 feet to a point;

Thence South 01° 16' 48" East, across said Lot 5, a distance of 39.76 feet to the TRUE POINT OF BEGINNING;

Thence continuing across said Lot 5, the following courses and distances:

South 01° 16' 48" East, a distance of 352.90 feet to a point;

North 88° 43' 12" East, a distance of 39.00 feet to a point;

South 01° 16' 48" East, a distance of 266.50 feet to a point;

South 88° 43' 39" West, a distance of 39.00 feet to a point;

North 01° 16' 48" West, a distance of 26.03 feet to a point;

South 88° 43' 12" West, a distance of 22.00 feet to a point;

North 01° 16' 48" West, a distance of 593.37 feet to a point; and

North 88° 43' 12" East, a distance of 22.00 feet to the TRUE POINT OF BEGINNING, containing 0.538 acre, more or less.



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5500 New Albany Road, Columbus, OH 43054 F-1016

Brandon R. King
Professional Land Surveyor No. L-5365

12.14.2021

Date

**SCM EASEMENT
1.160 ACRES**

Situated in the State of North Carolina, County of Cabarrus, City of Concord, and being on, over, and across Lot 5 of "Hendrick Auto Plaza", a subdivision of record in Plat Book 84, Page 82 (all references are to the records of the Register of Deed's Office, Cabarrus County, North Carolina) and being more particularly described as follows:

Beginning, for reference, at the westerly common corner of said Lot 5 and 4 of said "Hendrick Auto Plaza", and in the easterly line of that 26.00 acre tract conveyed to West Cabarrus Church, Inc. by deed of record in Deed Book 5815, Page 243;

Thence South 01° 16' 48" East, with the line common to said Lot 5 and 26.00 acre tract, a distance of 845.36 feet to a point;

Thence North 88° 43' 12" East, across said Lot 5, a distance of 145.95 feet to the TRUE POINT OF BEGINNING;

Thence continuing across said Lot 5, the following courses and distances:

North 01° 01' 52" West, a distance of 148.28 feet to a point;

North 88° 28' 08" East, a distance of 177.13 feet to a point;

South 72° 48' 02" East, a distance of 105.84 feet to a point;

South 01° 16' 22" East, a distance of 174.70 feet to a point;

South 88° 43' 20" West, a distance of 89.14 feet to a point; and

North 73° 53' 25" West, a distance of 198.05 feet to the TRUE POINT OF BEGINNING, containing 1.160 acres, more or less.



EVANS, MECHWART, HAMBLETON & TILTON, INC.
5500 New Albany Road, Columbus, OH 43054 F-1016

12.14.2021

Brandon R. King
Professional Land Surveyor No. L-5365

Date

**ACCESS EASEMENT
0.384 ACRE**

Situated in the State of North Carolina, County of Cabarrus, City of Concord, and being on, over, and across Lot 5 of "Hendrick Auto Plaza", a subdivision of record in Plat Book 84, Page 82 (all references are to the records of the Register of Deed's Office, Cabarrus County, North Carolina) and being more particularly described as follows:

Beginning, for reference, at the westerly common corner of said Lot 5 and 4 of said "Hendrick Auto Plaza", and in the easterly line of that 26.00 acre tract conveyed to West Cabarrus Church, Inc. by deed of record in Deed Book 5815, Page 243;

Thence North 88° 43' 12" East, with the line common to said Lots 5 and 4, a distance of 34.00 feet to a point;

Thence South 01° 16' 48" East, across said Lot 5, a distance of 10.00 feet to a point in the southerly line of that Existing 20' Access Easement of record in Plat Book 65, Page 86, being the TRUE POINT OF BEGINNING;

Thence continuing across said Lot 5, the following courses and distances:

North 88° 43' 12" East, a distance of 20.00 feet to a point;

South 01° 16' 48" East, a distance of 124.26 feet to a point;

North 88° 43' 12" East, a distance of 36.00 feet to a point;

South 01° 16' 48" East, a distance of 20.00 feet to a point;

South 88° 43' 12" West, a distance of 36.00 feet to a point;

South 01° 16' 48" East, a distance of 543.23 feet to a point;

North 88° 28' 08" East, a distance of 92.59 feet to a point;

South 01° 01' 52" East, a distance of 20.00 feet to a point;

South 88° 28' 08" West, a distance of 112.51 feet to a point; and

North 01° 16' 48" West, a distance of 707.58 feet to the TRUE POINT OF BEGINNING, containing 0.384 acre, more or less.



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Brandon R. King
Professional Land Surveyor No. L-5365

12.14.2021

Date



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ACCESS AND SCM EASEMENTS

CITY OF CONCORD, COUNTY OF CABARRUS

STATE OF NORTH CAROLINA

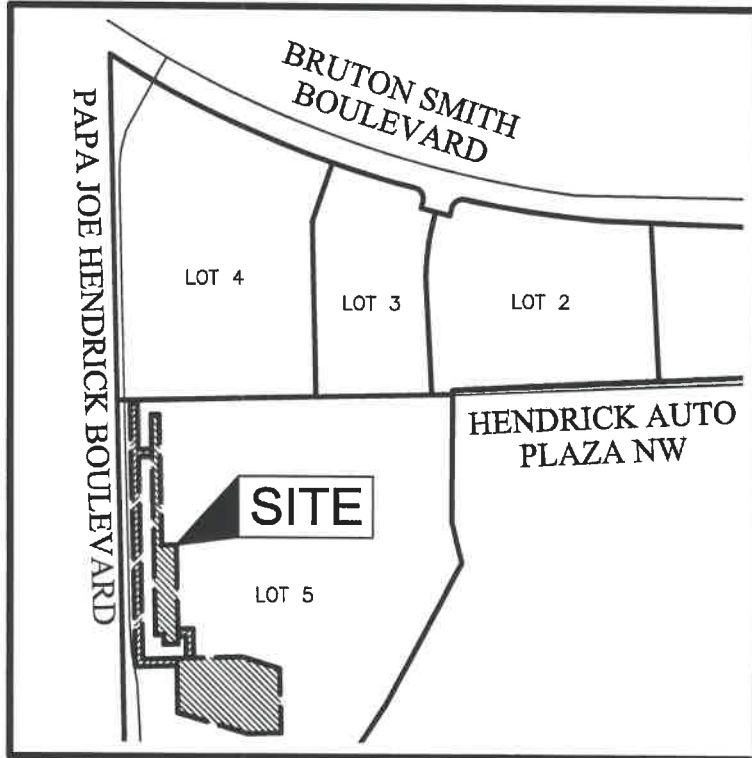
PREPARED FOR: HSREI, LLC

Date: December 14, 2021

Scale: 1" = 100'

Job No: 2019-0819

Sheet No: 1 of 2



LOCATION MAP

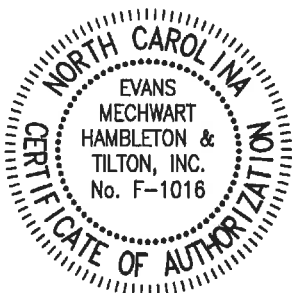
NOT TO SCALE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N88°43'12"E	34.00'
L2	S01°16'48"E	10.00'
L3	N88°43'12"E	20.00'
L4	S01°16'48"E	124.26'
L5	N88°43'12"E	36.00'
L6	S01°16'48"E	20.00'
L7	S88°43'12"W	36.00'
L8	N88°28'08"E	92.59'
L9	S01°01'52"E	20.00'
L10	N88°43'12"E	112.00'
L11	S01°16'48"E	39.76'
L12	N88°43'12"E	39.00'
L13	S88°43'39"W	39.00'
L14	N01°16'48"W	26.03'
L15	S88°43'12"W	22.00'
L16	N88°43'12"E	22.00'
L17	N88°43'12"E	40.98'
L18	S01°16'48"E	78.68'
L19	S88°28'08"W	20.00'
L20	N01°16'48"W	58.77'
L21	S88°43'12"W	20.98'
L22	N01°16'48"W	20.00'

NOTES:

1. Map and deed references as shown hereon.
2. The purpose of this map is for easement acquisition only.
3. Physical improvements and utilities may exist that are not shown hereon.
4. This map was prepared without the benefit of a title commitment report. EMH&T does not claim that all matters of record which may or may not affect the subject property are shown hereon.
5. Areas calculated by coordinate computation.
6. All distances are horizontal ground distances in U.S. Survey Feet and decimals thereof, unless noted otherwise.

This map may not be a certified survey and has not been reviewed by a local government agency for compliance with any applicable land development regulations and has not been reviewed for compliance with recording requirements for plats.



By 
 Brandon R. King
 Professional Land Surveyor No. L-5365
 bking@emht.com

Date 12-14-2021

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ACCESS AND SCM EASEMENTS

CITY OF CONCORD, COUNTY OF CABARRUS

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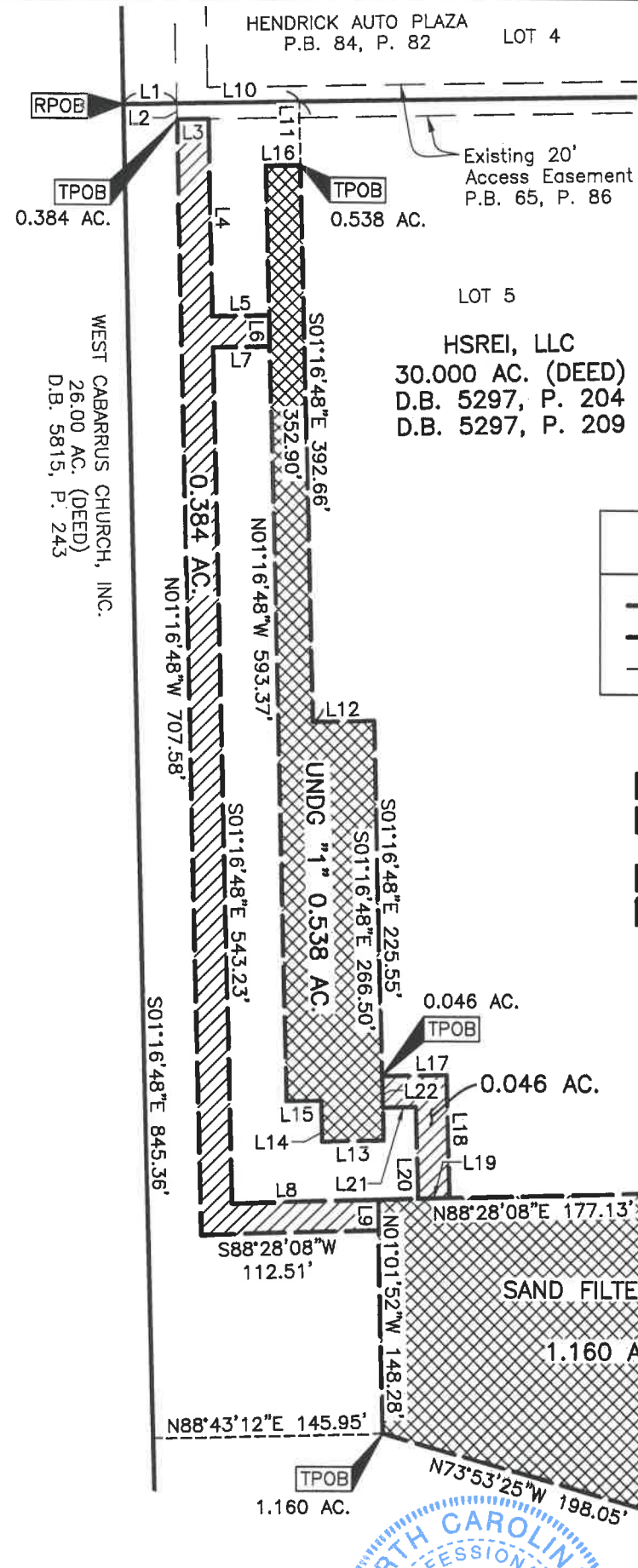
PREPARED FOR: HSREI, LLC

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Scale: 1" = 100'

Job No: 2019-0819

Sheet No: 2 of 2



NOMENCLATURE	
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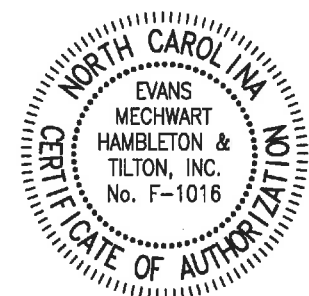
LINE LEGEND	
	Boundary Line
	Proposed Easement Line
	Existing Easement Line

	Proposed Access Easement
	Proposed SCM Easement

WEST CABARRUS CHURCH, INC.
 26.00 AC. (DEED)
 D.B. 5815, P. 243

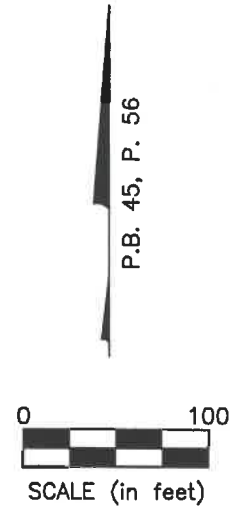
HSREI, LLC
 30.000 AC. (DEED)
 D.B. 5297, P. 204
 D.B. 5297, P. 209

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Date 12-14-2021



**ACCESS EASEMENT
0.046 ACRE**

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EVANS, MECHWART, HAMBLETON & TILTON, INC.
5500 New Albany Road, Columbus, OH 43054 F-1016

A handwritten signature in blue ink, appearing to read "Brandon R. King".

Brandon R. King
Professional Land Surveyor No. L-5365

12-14-2021

Date

BRK:tnw
0_046 ac 20190819-VS-ESMT-SCM--02.doc

**SCM EASEMENT
0.538 ACRE**

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12.14.2021

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**SCM EASEMENT
1.160 ACRES**

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Brandon R. King
Professional Land Surveyor No. L-5365

12.14.2021

Date

**ACCESS EASEMENT
0.384 ACRE**

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5500 New Albany Road, Columbus, OH 43054 F-1016

12-14-2021

Brandon R. King
Professional Land Surveyor No. L-5365

Date

Consent of Lienholder

This instrument should be indexed as a “subsequent instrument,” pursuant to N.C.G.S. § 161-14.1, and is intended to relate to the following previously registered instrument: First Amended and Restated Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement recorded in Book _____, Page _____, Cabarrus County Register of Deeds.

Wells Fargo Bank, National Association (“Lienholder”), hereby consents to the grant of the First Amended and Restated Stormwater Control Measures (SCMs), Access Easement and Maintenance Agreement by HSREI, LLC, a North Carolina limited liability company, filed in Deed Book _____ at Page _____ (the “Agreement and Easement”) and joins in the execution hereof solely as Lienholder and hereby does agree that in the event of the foreclosure of the Amended Deed of Trust and Security Agreement recorded in Deed Book 7250, Page 8, as amended by Amendment to Amended Deed of Trust and Security Agreement recorded in Deed Book 9409, Page 29, as amended by Amended and Restated Deed of Trust and Security Agreement filed in Deed Book 10758, Page 284, as amended by Amendment to Amended and Restated Deed of Trust and Security Agreement recorded in Deed Book 11040, Page 313, as amended by Second Amendment to Amended and Restated Deed of Trust and Security Agreement recorded in Deed Book 11853, Page 345, as amended by Amended and Restated Deed of Trust and Assignment of Rents and Leases recorded in Deed Book 14351, Page 333, as further amended by First Amendment to Amended and Restated Deed of Trust and Assignment of Rents and Leases recorded in Deed Book 15570, Page 45 and the UCC Financing Statement filed in Book 10758, Page 309, as the foregoing documents may have been amended from time to time, all of the Cabarrus County Register of Deeds Office, or other sale of said property described in the aforesaid documents under judicial or non-judicial proceedings, the same shall be sold subject to said Agreement and Easement.

[remainder of page intentionally blank]

SIGNED AND EXECUTED this 14th day of January, 2022.

Wells Fargo Bank, National Association

By: *Brad D Bostick*
Name: Brad D Bostick
Title: Senior Vice President

STATE OF North Carolina
COUNTY OF Mecklenburg

I, Astghik Vardanyan, a Notary Public in and for Mecklenburg County and State of NC, do hereby certify that Brad D Bostick, as Senior Vice President of Wells Fargo Bank, National Association personally appeared before me this day and acknowledged to me that he or she voluntarily signed the foregoing document for the purpose stated therein.

WITNESS my hand and Notarial Seal this the 14th day of January, 2022.

My Commission Expires: 04/03/2022

Astghik Vardanyan
Notary Public
Print Name: Astghik Vardanyan

[stamp/seal]



ORD. #

AN ORDINANCE TO AMEND FY 2021-2022 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 10th day of June, 2021, adopt a City budget for the fiscal year beginning July 1, 2021 and ending on June 30, 2022, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		(Decrease) Increase
		Current Budget	Amended Budget	
100-4353100	Insurance Reimbursement	\$0	\$112,903	\$112,903
Total				\$112,903

Account	Title	<u>Expenses/Expenditures</u>		(Decrease) Increase
		Current Budget	Amended Budget	
4550-5362000	Accident Repairs	\$0	\$13,965	\$13,965
4310-5540000	Vehicles - Capital	\$1,330,266	\$1,370,944	\$40,678
4340-5540000	Vehicles - Capital	\$2,588,622	\$2,619,064	\$30,442
4540-5550000	Equipment – Capital	\$16,809	\$44,627	\$27,818
Total				\$112,903

Reason: To appropriate insurance proceeds received.

Adopted this 10th day of February, 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

ORD.

CAPITAL PROJECT ORDINANCE AMENDMENT
Stormwater Projects

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby ordained/amended:

SECTION 1. The projects authorized and amended are Stormwater Projects.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the project:

		<u>Revenues</u>		
<u>Account</u>	<u>Title</u>	<u>Current Budget</u>	<u>Amended Budget</u>	<u>(Decrease) Increase</u>
Total				<u>\$0</u>

SECTION 4. The following amounts are appropriated for the projects:

		<u>Expenses/Expenditures</u>		
<u>Account</u>	<u>Title</u>	<u>Current Budget</u>	<u>Amended Budget</u>	<u>(Decrease) Increase</u>
7103-5811282				
7103-5811282	Dylan Place Culvert	\$1,930,000	\$0	(\$1,930,000)
7103-5811292				
7103-5811292	Country Club	\$0	\$1,930,000	\$1,930,000
Total				<u>\$0</u>

SECTION 4. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 5. Within five (5) days after adopted, copies of this grant/project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 6. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 10th day of February, 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolcznski, City Attorney

ORD. #

CAPITAL PROJECT ORDINANCE AMENDMENT
Wastewater Projects

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby adopted/amended:

SECTION 1. The projects authorized are the projects included for the GL PS Eliminations project.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the completion of the projects:

Revenues

<u>Account</u>	<u>Title</u>	<u>Current Budget</u>	<u>Amended Budget</u>	<u>(Decrease) Increase</u>
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SECTION 4. The following amounts are appropriated for the project:

Expenses/Expenditures

<u>Account</u>	<u>Title</u>	<u>Current Budget</u>	<u>Amended Budget</u>	<u>(Decrease) Increase</u>
8402-5801139	GL PS Eliminations	990,000	3,888,000	2,898,000
8402-5801140	Laurel Park Pump Station Elimination	500,000	0	(500,000)
8402-5801178	Coddle Creek Outfall to Sunberry Lane	798,000	0	(798,000)
8402-5801182	Coddle Creek Outfall to Weyburn Drive	1,600,000	0	(1,600,000)
Total				0

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the project agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adoption, copies of this capital projects ordinance shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy, and shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 10th day February, 2022.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

Valerie Kolczynski, City Attorney



Quarterly Council Report

UTILITY EXTENSIONS/ADDITIONS PERMITTED

October 1- December 31, 2021

SUMMARY

During the past quarter, the City of Concord Engineering Department's local permitting programs have authorized the expansion of the City of Concord's water distribution system and wastewater collection system to areas that have been recently annexed, developed or to portions of the countywide service area, where infrastructure is lacking, deficient or overloaded.

In summary, the water distribution and wastewater collection expansion projects, as permitted by the City of Concord's delegated permitting program during the quarter of **October 1- December 31, 2021**, are as follows:

WATER- *The City of Concord initiated water distribution system extensions permitted by the City of Concord's delegated permitting 25 linear feet of 8-inch water lines and other appurtenances to provide to provide potable water to a municipal operations center, with an average domestic water demand of 3,125 GPD, of treated water from the City of Concord's existing potable water distribution system.*

*The Developer initiated **PUBLIC** water distribution system extensions permitted by the City of Concord's delegated permitting program consisted of approximately 1,564 linear feet of 8-inch water main, 4,258 linear feet of 6-inch water main, 598 linear feet of 2-inch water main, with valves, hydrants and other appurtenances to serve 108 1-bedroom apartment units, 144 2-bedroom units, 48 3-bedroom units, 7,371 sq. ft. Clubhouse with pool, 91 4-bedroom single family lots, a 72,900 sq. ft. mixture of businesses, office and factories, and a 17,000 sq. ft. group homeless shelter with an average domestic, industrial, and commercial water demand of 173,251 GPD, of treated water from the City of Concord's existing potable water distribution system.*

SEWER –*The City of Concord does not report any wastewater collection system extensions for this quarter.*

The Developer initiated wastewater collection system extensions permitted by the City of Concord's delegated permitting program consisted of approximately 5,562 linear feet of 8-inch sanitary sewer, and with manholes and other appurtenances to serve 108 1-bedroom units, 144 2-bedroom units, 48 3-bedroom units, 7,371 sq. ft. Clubhouse with pool, 91 4-bedroom single-family lots, a 72,900 sq. ft. mixture of businesses, office and factories with a total average domestic and industrial wastewater discharge of 43,680 GPD.

*Please reference the following pages for more information concerning the authorized expansion and the associated particulars of each project permitted by the City from **1st of October to the 31st of December, 2021**:*

Water Distribution System Extensions: October 1- December 31, 2021

Date Issued: October 5, 2021
Project Title: **Red Hill Subdivision**
Project #: 2021-024
Developer: Niblock Homes, LLC
William Niblock, Owner
759 Concord Parkway North
Concord, NC 28027
P) 704-788-4818
Email) wniblock@niblockhomes.com

Description: Construction of approximately 860 linear feet of 8-inch water lines with 2 in-line valves, 4,220 linear feet of 6-inch water lines with 7 in-line valves, 598 linear feet of 2-inch water lines with 2 in-line valves, 8 hydrants, and other appurtenances to provide potable water to 91 4-bedroom, single family lots located off of Lucky Drive NW with an average domestic water demand of 36,400 GPD.

Date Issued: October 6, 2021
Project Title: **Concord Electrical Operations Center**
Project #: 2020-090
Developer: City of Concord
Enrique A. Blat, Deputy City Engineer
635 Alfred Brown Jr. Ct. SW
Concord, NC 28025
P) 704-920-5403
Email) blatr@concordnc.gov

Description: Construction of approximately 25 linear feet of 8-inch water lines with 1 in-line valve and other appurtenances to provide potable water to a municipal operations center located off of Alfred Brown Jr. Court SW with an average water demand of 3,125 GPD.

Date Issued: October 28, 2021
Project Title: **Evolve at Parkway Apartments**
Project #: 2021-010
Developer: Concord Housing, LLC
Michael P. Winstead, Jr. Managing Member
2918-A Martinsville Road
Greensboro, NC 27408
P) 336-485-4658
Email) mike@evolvecos.com

Description: Construction of approximately 72 linear feet of 8-inch water lines with 2 in-line valves, and other appurtenances to provide potable water to 108 1-bedroom apartment units, 144 2-bedroom units, 48 3-bedroom units, 7,371 sq. ft. Clubhouse with pool located off/on of Concord Parkway S, with an average domestic water demand of 124,906 GPD.

Date Issued: November 2, 2021
Project Title: **The Springs Business Park**
Project #: 2021-030
Developer: Fortius Capital Partners, LLC
J. Harris Morrison III, Owner
805 Trade Street, NW, Ste. 102
Concord, NC 28025
P) 980-354-3700
Email) harris@harrismorrison.com
Description: Construction of approximately 631.50 linear feet of 8-inch water lines with 7 in-line valves, 1 hydrant, and other appurtenances to provide potable water to 72,900 sq. ft. mixture of businesses, office and factories located off/on of Weddington Rd & Pitts School Rd, with an average industrial water demand of 9,600 GPD.

Date Issued: November 5, 2021
Project Title: **The Salvation Army Center of Hope**
Project #: 2021-050
Developer: The Salvation Army a Georgia Corp.
James K. Seiler, Treasurer
1424 Northeast Expressway
Brookhaven, GA 30329
P) 404-728-1300
Email) james.seiler@uss.salvationarmy.org
Description: Construction of approximately 38 linear feet of 6-inch water lines with 2 in-line valves, and other appurtenances to provide potable water to a 17,000 sq. ft. group homeless shelter located off of Ashlyn Drive SE, with an average commercial water demand of 2,345 GPD.

Wastewater Distribution System Extensions: October 1- December 31, 2021

Date Issued: October 5, 2021
Project Title: **Red Hill Subdivision**
Project #: 2021-024
Developer: Niblock Homes, LLC
William Niblock, Owner
759 Concord Parkway North
Concord, NC 28027
P) 704-788-4818
Email) wniblock@niblockhomes.com
Description: Construction of approximately 4,677 linear feet of 8-inch sanitary sewer with 23 manholes and other appurtenances to serve 91 4-bedroom, single-family lots located off/on of Lucky Drive NW, with a domestic wastewater discharge of 43,680 GPD.

Date Issued: October 28, 2021
Project Title: **Evolve at Parkway Apartments**
Project #: 2021-010
Developer: Concord Housing, LLC
Michael P. Winstead, Jr. Managing Member
2918-A Martinsville Road
Greensboro, NC 27408
P) 336-485-4658
Email) mike@evolvecos.com
Description: Construction of approximately 753 linear feet of 8-inch sanitary sewer with 4 manholes and other appurtenances to serve apartments with 108 1-bedroom units, 144 2-bedroom units, 48 3-bedroom units, 7,371 sq. ft. Clubhouse with pool, located off of Concord Parkway S, with zero increase in the domestic wastewater flow. *The domestic wastewater discharge of 82,666 GPD will be allocated in the NCDEQ private sewer permit.*

Date Issued: November 2, 2021
Project Title: **The Springs Business Park**
Project #: 2021-030
Developer: Fortius Capital Partners, LLC
J. Harris Morrison III, Owner
805 Trade Street, NW, Ste. 102
Concord, NC 28025
P) 980-354-3700
Email) harris@harrismorrison.com
Description: Construction of approximately 132 linear feet of 8-inch sanitary sewer with 3 manholes and other appurtenances to serve 72,900 sq. ft. mixture of businesses, office and factories located off/on of Weddington Rd & Pitts School Rd, with a zero increase in the industrial wastewater flow. *The industrial wastewater discharge of 9,600 GPD will be allocated in the NCDEQ private sewer permit.*

City of Concord
Portfolio Holdings
Monthly Investments to Council
Report Format: By CUSIP / Ticker
Group By: Security Type
Average By: Cost Value
Portfolio / Report Group: All Portfolios
As of 12/31/2021

Description	CUSIP/Ticker	Face Amount/Shares	Cost Value	Maturity Date	YTM @ Cost	% of Portfolio	Settlement Date	Cost Price	Days To Maturity
Commercial Paper									
CP LMA S A DISC CP 0 1/19/2022	53944RAK4	5,000,000.00	4,997,450.00	1/19/2022	0.120	1.29	N/A	99.949	19
CP ING US FUNDING 0 2/14/2022	4497W1BE5	5,000,000.00	4,994,022.22	2/14/2022	0.160	1.29	N/A	99.880444	45
CP CHESHAM 0 2/25/2022	16536JBR7	5,000,000.00	4,996,081.95	2/25/2022	0.130	1.29	N/A	99.921639	56
CP BAYERISCHE LANDESBK GIRO 0 3/16/2022	07274MCG8	5,000,000.00	4,996,250.00	3/16/2022	0.150	1.29	N/A	99.925	75
CP CREDIT SUISSE 0 3/25/2022	2254EBCR0	5,000,000.00	4,993,672.22	3/25/2022	0.170	1.29	N/A	99.873444	84
CP ICBC LTD 0 4/8/2022	45581CD85	5,000,000.00	4,995,895.83	4/8/2022	0.150	1.29	N/A	99.917917	98
CP CROWN PT CAP CO LLC 0 4/18/2022	2284K1DJ9	5,000,000.00	4,994,970.85	4/18/2022	0.170	1.29	N/A	99.899417	108
CP BAQUE ET CAISSE EPARGNE 0 5/2/2022	0667K1E23	5,000,000.00	4,995,955.56	5/2/2022	0.130	1.29	N/A	99.919111	122
CP NATIXIS 0 5/24/2022	63873KEQ6	5,000,000.00	4,994,923.60	5/24/2022	0.170	1.29	N/A	99.898472	144
CP LLOYDS BANK CORP 0 5/31/2022	53948BEX3	5,000,000.00	4,994,422.22	5/31/2022	0.160	1.29	N/A	99.888444	151
CP BANCO DE CHILE 0 6/1/2022	05952TF16	5,000,000.00	4,993,369.44	6/1/2022	0.220	1.29	N/A	99.867389	152
CP ING US FUNDING LLC 0 6/10/2022	4497W1FA9	5,000,000.00	4,993,427.78	6/10/2022	0.260	1.29	N/A	99.868556	161
CP CHARLOTTE MECK HOSP 0 6/22/2022	16085KFN4	5,000,000.00	4,995,550.00	6/22/2022	0.120	1.29	N/A	99.911	173
CP MOUNTCLIFF 0 7/20/2022	62455BGL3	5,000,000.00	4,990,200.00	7/20/2022	0.281	1.29	N/A	99.804	201
CP CREDIT SUISSE 0 8/19/2022	2254EBHK0	5,000,000.00	4,988,000.00	8/19/2022	0.321	1.29	N/A	99.76	231
CP NATIXIS 0 8/31/2022	63873KHX8	5,000,000.00	4,987,020.83	8/31/2022	0.351	1.29	N/A	99.740417	243
CP SALVATION ARMY 0 9/2/2022	79583TJ22	5,000,000.00	4,990,286.11	9/2/2022	0.261	1.29	N/A	99.805722	245
Sub Total / Average Commercial Paper		85,000,000.00	84,891,498.61		0.196	21.99		99.872385	136
FFCB Bond									
FFCB 0.14 5/18/2023-21	3133EMZP0	5,000,000.00	4,997,000.00	5/18/2023	0.170	1.29	N/A	99.94	503
FFCB 0.32 8/10/2023-21	3133EL3E2	5,000,000.00	5,000,000.00	8/10/2023	0.320	1.30	N/A	100	587
FFCB 0.19 9/22/2023-21	3133EMLE0	5,000,000.00	5,000,000.00	9/22/2023	0.190	1.30	N/A	100	630
FFCB 0.31 11/30/2023-21	3133EMHL9	5,000,000.00	5,000,000.00	11/30/2023	0.310	1.30	N/A	100	699
FFCB 0.23 1/19/2024	3133EMNG3	5,000,000.00	4,997,850.00	1/19/2024	0.244	1.29	N/A	99.957	749
FFCB 0.25 3/1/2024-21	3133EMSD5	5,000,000.00	4,990,000.00	3/1/2024	0.317	1.29	N/A	99.8	791
FFCB 0.33 4/5/2024-22	3133EMVD1	3,470,000.00	3,467,918.00	4/5/2024	0.354	0.90	N/A	99.94	826
FFCB 0.46 8/19/2024-21	3133EM2U5	5,000,000.00	5,000,000.00	8/19/2024	0.460	1.30	N/A	100	962
FFCB 0.43 9/10/2024-20	3133EL6V1	5,000,000.00	5,000,000.00	9/10/2024	0.430	1.30	N/A	100	984
FFCB 0.63 10/21/2024-22	3133ENBM1	4,189,000.00	4,172,244.00	10/21/2024	0.768	1.08	N/A	99.6	1,025
FFCB 0.97 12/9/2024-22	3133ENGN4	5,000,000.00	5,000,000.00	12/9/2024	0.970	1.30	N/A	100	1,074
FFCB 0.71 4/21/2025-22	3133EMVH1	5,000,000.00	5,000,000.00	4/21/2025	0.710	1.30	N/A	100	1,207
FFCB 0.53 9/29/2025-21	3133EMBH4	5,000,000.00	5,000,000.00	9/29/2025	0.530	1.30	N/A	100	1,368
FFCB 1.21 12/22/2025-22	3133ENHU7	5,000,000.00	5,000,000.00	12/22/2025	1.210	1.30	N/A	100	1,452
FFCB 0.625 6/16/2026-21	3133EMKV3	5,000,000.00	5,000,000.00	6/16/2026	0.625	1.30	N/A	100	1,628
FFCB 0.94 9/28/2026-22	3133EM6E7	5,000,000.00	5,000,000.00	9/28/2026	0.940	1.30	N/A	100	1,732
FFCB 1.55 3/30/2027-23	3133ELUN2	5,000,000.00	5,000,000.00	3/30/2027	1.550	1.30	N/A	100	1,915
FFCB 1.4 3/10/2028-22	3133EMSW3	5,000,000.00	5,000,000.00	3/10/2028	1.400	1.30	N/A	100	2,261
FFCB 1.5 3/23/2028-22	3133EMUB6	5,000,000.00	5,000,000.00	3/23/2028	1.500	1.30	N/A	100	2,274
FFCB 1.04 1/25/2029-22	3133EMNL2	5,000,000.00	4,986,250.00	1/25/2029	1.076	1.29	N/A	99.725	2,582
FFCB 1.55 3/15/2029-22	3133EMX1	5,000,000.00	4,960,000.00	3/15/2029	1.658	1.29	N/A	99.2	2,631
Sub Total / Average FFCB Bond		102,659,000.00	102,571,262.00		0.755	26.57		99.914899	1,337
FHLB Bond									
FHLB 0.3 9/29/2023-21	3130AK3S3	5,000,000.00	5,000,000.00	9/29/2023	0.300	1.30	N/A	100	637
FHLB 0.22 10/5/2023-21	3130AKAF3	5,000,000.00	4,992,500.00	10/5/2023	0.270	1.29	N/A	99.85	643
FHLB 0.3 11/27/2023-21	3130AKGL4	5,000,000.00	5,000,000.00	11/27/2023	0.300	1.30	N/A	100	696

FHLB 0.3 2/9/2024-21	3130AMHP0	5,000,000.00	5,000,000.00	2/9/2024	0.300	1.30	N/A	100	770
FHLB 2.5 2/13/2024	3130AFW94	520,000.00	554,662.30	2/13/2024	0.225	0.14	N/A	106.665827	774
FHLB 0.45 4/29/2024-21	3130ALYE8	5,000,000.00	5,000,000.00	4/29/2024	0.450	1.30	N/A	100	850
FHLB 0.375 5/24/2024-21	3130AMPB2	5,000,000.00	5,000,000.00	5/24/2024	0.375	1.30	N/A	100	875
FHLB 0.4 5/24/2024-21	3130AMEP3	5,000,000.00	5,000,000.00	5/24/2024	0.400	1.30	N/A	100	875
FHLB 0.4 6/7/2024-21	3130AMKX9	5,000,000.00	5,000,000.00	6/7/2024	0.400	1.30	N/A	100	889
FHLB 0.5 7/15/2024-21	3130AMXL1	5,000,000.00	5,000,000.00	7/15/2024	0.500	1.30	N/A	100	927
FHLB 0.5 7/29/2024-21	3130ANCU2	5,000,000.00	5,000,000.00	7/29/2024	0.500	1.30	N/A	100	941
FHLB 0.45 8/27/2024-20	3130AJZH5	5,000,000.00	5,000,000.00	8/27/2024	0.450	1.30	N/A	100	970
FHLB 0.4 7/15/2025-21	3130AKM29	5,000,000.00	4,999,000.00	7/15/2025	0.405	1.30	N/A	99.98	1,292
FHLB 0.5 10/20/2025-21	3130AKNK8	5,000,000.00	4,999,000.00	10/20/2025	0.504	1.30	N/A	99.98	1,389
FHLB Step 12/30/2025-21	3130AKLH7	5,000,000.00	5,000,000.00	12/30/2025	0.636	1.30	N/A	100	1,460
FHLB Step 1/29/2026-21	3130AKRA6	5,000,000.00	5,000,000.00	1/29/2026	1.002	1.30	N/A	100	1,490
FHLB 0.53 2/17/2026-21	3130AKWS1	5,000,000.00	4,995,000.00	2/17/2026	0.550	1.29	N/A	99.9	1,509
FHLB 0.8 3/10/2026-21	3130ALFS8	5,000,000.00	5,000,000.00	3/10/2026	0.800	1.30	N/A	100	1,530
FHLB Step 4/29/2026-21	3130ALZA5	5,000,000.00	5,000,000.00	4/29/2026	1.432	1.30	N/A	100	1,580
FHLB 0.825 8/17/2027-21	3130AJXH7	5,000,000.00	4,986,250.00	8/17/2027	0.866	1.29	N/A	99.725	2,055
FHLB 2.32 11/1/2029-22	3130AHEU3	5,000,000.00	5,000,000.00	11/1/2029	2.320	1.30	N/A	100	2,862
Sub Total / Average FHLB Bond		100,520,000.00	100,526,412.30		0.636	26.04		100.008731	1,209
FHLMC Bond									
FHLMC 0.375 4/20/2023	3137EAEQ8	1,290,000.00	1,291,301.24	4/20/2023	0.341	0.33	N/A	100.100871	475
FHLMC 2.75 6/19/2023	3137EAEN5	1,225,000.00	1,317,965.25	6/19/2023	0.244	0.34	N/A	107.589	535
FHLMC 0.25 6/26/2023	3137EAES4	3,220,000.00	3,219,567.60	6/26/2023	0.254	0.83	N/A	99.986726	542
FHLMC 0.25 9/8/2023	3137EAEW5	2,120,000.00	2,120,844.05	9/8/2023	0.236	0.55	N/A	100.039854	616
FHLMC 0.3 12/14/2023-21	3134GXEW0	5,000,000.00	5,000,000.00	12/14/2023	0.300	1.30	N/A	100	713
FHLMC 0.45 7/29/2024-22	3134GWFS0	2,250,000.00	2,250,000.00	7/29/2024	0.450	0.58	N/A	100	941
FHLMC 0.8 7/14/2026-21	3134GV5T1	5,000,000.00	5,000,000.00	7/14/2026	0.800	1.30	N/A	100	1,656
Sub Total / Average FHLMC Bond		20,105,000.00	20,199,678.14		0.425	5.23		100.503675	908
FNMA Bond									
FNMA 2 10/5/2022	3135G0T78	2,655,000.00	2,688,288.85	10/5/2022	1.547	0.70	N/A	101.253967	278
FNMA 2.375 1/19/2023	3135G0T94	1,820,000.00	1,884,180.01	1/19/2023	1.134	0.49	N/A	103.531596	384
FNMA 0.31 8/17/2023-22	3136G4K51	5,000,000.00	5,000,000.00	8/17/2023	0.310	1.30	N/A	100	594
FNMA 2.875 9/12/2023	3135G0U43	1,170,000.00	1,263,483.00	9/12/2023	0.221	0.33	N/A	107.99	620
FNMA 0.3 10/27/2023-21	3136G46A6	5,000,000.00	5,000,000.00	10/27/2023	0.300	1.30	N/A	100	665
FNMA 0.25 11/27/2023	3135G06H1	3,705,000.00	3,707,833.90	11/27/2023	0.223	0.96	N/A	100.076557	696
FNMA 0.28 12/29/2023-21	3135GABN0	5,000,000.00	5,000,000.00	12/29/2023	0.280	1.30	N/A	100	728
FNMA 2.5 2/5/2024	3135G0V34	1,500,000.00	1,590,870.00	2/5/2024	0.225	0.41	N/A	106.058	766
FNMA 1.75 7/2/2024	3135G0V75	1,510,000.00	1,571,618.47	7/2/2024	0.361	0.41	N/A	104.080727	914
FNMA 0.455 8/27/2024-21	3136G4Y72	5,000,000.00	5,000,000.00	8/27/2024	0.455	1.30	N/A	100	970
FNMA 1.625 10/15/2024	3135G0W66	2,380,000.00	2,454,218.36	10/15/2024	0.577	0.64	N/A	103.119202	1,019
FNMA 0.5 12/16/2024-21	3135G06M0	5,000,000.00	4,989,850.00	12/16/2024	0.560	1.29	N/A	99.797	1,081
FNMA 0.7 7/14/2025-21	3136G4YH0	5,000,000.00	5,000,000.00	7/14/2025	0.700	1.30	N/A	100	1,291
FNMA 0.55 8/19/2025-22	3136G4H63	5,000,000.00	5,000,000.00	8/19/2025	0.550	1.30	N/A	100	1,327
FNMA 0.58 8/25/2025-22	3136G4J20	5,000,000.00	5,000,000.00	8/25/2025	0.580	1.30	N/A	100	1,333
FNMA 0.73 10/29/2026-21	3136G46F5	5,000,000.00	5,000,000.00	10/29/2026	0.730	1.30	N/A	100	1,763
FNMA 0.8 11/4/2027-22	3135GA2L4	5,000,000.00	5,000,000.00	11/4/2027	0.800	1.30	N/A	100	2,134
Sub Total / Average FNMA Bond		64,740,000.00	65,150,342.59		0.553	16.88		100.661507	1,065
Local Government Investment Pool									
NCCMT LGIP	NCCMT599	67,802.49	67,802.49	N/A	0.010	0.02	N/A	100	1
NCCMT LGIP	NCCMT481	2,311,422.38	2,311,422.38	N/A	0.010	0.60	N/A	100	1
NCCMT LGIP	NCCMT271	107,403.05	107,403.05	N/A	0.010	0.03	N/A	100	1
Sub Total / Average Local Government Investment Pool		2,486,627.92	2,486,627.92		0.010	0.64		100	1
Money Market									
PINNACLE BANK MM	PINNACLE	10,153,300.63	10,153,300.63	N/A	0.100	2.63	N/A	100	1
Sub Total / Average Money Market		10,153,300.63	10,153,300.63		0.100	2.63		100	1
Total / Average		385,663,928.55	385,979,122.19		0.527	100		100.089608	928

Tax Report for Fiscal Year 2021-2022

FINAL REPORT

December

Property Tax Receipts- Munis

2021 BUDGET YEAR	18,436,340.08
2020	45,523.20
2019	7,043.90
2018	946.94
2017	207.15
2016	26.29
2015	14.98
2014	14.98
2013	13.23
2012	-
Prior Years	-
Interest	14,493.72
Refunds	
	<u>18,504,624.47</u>

Vehicle Tax Receipts- County

2021 BUDGET YEAR	419,402.49
2020	
2019	
2018	
2017	
2016	
2015	
Prior Years	
Penalty & Interest	4,501.04
Refunds	
	<u>423,903.53</u>

Fire District Tax - County

2021 BUDGET YEAR	108,475.60
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Less: Collection Fee from County

Net Ad Valorem Collections	<u>19,037,003.60</u>
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423:Vehicle Tag Fee-Transportation Impr Fund	30,524.18
100:Vehicle Tag Fee	123,946.65
292:Vehicle Tag Fee-Transportation Fund	30,524.18
Less Collection Fee - Transit	
Net Vehicle Tag Collection	<u>184,995.01</u>

Privilege License	30.00
Prepaid Privilege Licenses	
Privilege License interest	
Total Privilege License	<u>30.00</u>

Oakwood Cemetery current	2,725.00
Oakwood Cemetery endowment	-
Rutherford Cemetery current	4,300.02
Rutherford Cemetery endowment	2,224.98
West Concord Cemetery current	4,075.00
West Concord Cemetery endowment	-
Total Cemetery Collections	<u>13,325.00</u>

Total Collections	<u>\$ 19,235,353.61</u>
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Current Year	
Original Scroll	
Levy	
Penalty	
Adjustments	
Public Service	
Levy	
Penalty	
Discoveries/Annex	84,762.40
Discovery Penalty	96.31
Total Amount Invoiced - Monthly	<u>84,858.71</u>
Total Amount Invoiced - YTD	65,464,654.61

Current Year	
Less Abatements (Releases)	
Real	4,257.01
Personal	
Discovery	
Penalty - all	
Total Abatements	<u>4,257.01</u>

Adjusted Amount Invoiced - monthly	80,601.70
Adjusted Amount Invoiced - YTD	65,374,713.24

Current Levy Collected	18,436,340.08
Levy Collected from previous years	53,790.67
Penalties & Interest Collected	14,493.72
Current Month Write Off - Debit/Credit	0.00
Total Monthly Collected	<u>18,504,624.47</u>
Total Collected - YTD	52,867,722.69

Total Collected - net current levy -YTD 52,641,477.08

Percentage of Collected -current levy 80.52%

Amount Uncollected - current year levy 12,733,236.16

Percentage of Uncollected - current levy 19.48%

100.00%

CITY OF CONCORD

Summary of Releases, Refunds and Discoveries for the Month of December 2021

RELEASES		
CITY OF CONCORD	\$	4,257.01
CONCORD DOWNTOWN	\$	-

REFUNDS		
CITY OF CONCORD	\$	2,336.08
CONCORD DOWNTOWN	\$	-

DISCOVERIES							
CITY OF CONCORD							
TaxYear	Real	Personal	Total	Rate	Calculated	Penalties	
2016	0	0	0	0.0048	0.00	0.00	
2017	0	0	0	0.0048	0.00	0.00	
2018	3,252,520	0	3,252,520	0.0048	15,612.10	0.00	
2019	3,252,520	0	3,252,520	0.0048	15,612.10	0.00	
2020	5,106,480	62,726	5,169,206	0.0048	24,812.19	30.11	
2021	5,846,671	137,916	5,984,587	0.0048	28,726.02	66.20	
Total	17,458,191	200,642	17,658,833		\$ 84,762.40	\$ 96.31	
DOWNTOWN							
TaxYear	Real	Personal	Total	Rate	Calculated	Penalties	
2017	0	0	0	0.0023	0.00	0.00	
2018	0	0	0	0.0023	0.00	0.00	
2019	0	0	0	0.0023	0.00	0.00	
2020	0	1,538	1,538	0.0023	3.54	0.35	
2021	0	0	0	0.0023	0.00	0.00	
Total	0	1,538	1,538		\$ 3.54	\$ 0.35	